



Evanston & Westwood

New Construction Single-Family Dwellings REQUEST FOR PROPOSALS



TABLE OF CONTENTS:

Section 1 – Introduction	2
Section 2 – Instructions to Bidders	3
Section 3 – Project Scope / Requirements	5
Section 4 – Project Administration	6
Section 5 – Proposal Requirements	8
Section 6 – Site Information	Attached
Section 7 – Drawings	Attached
Section 8 – Inclusion Policy	Attached







Section 1 Introduction

Hamilton County Land Reutilization Corporation (Landbank) is seeking a professional and qualified contractor to provide services for the construction of four single-family homes to be located at 3416 Woodburn Ave, 3467 Greenlawn Ave, 3107 Hackberry St Cincinnati, Ohio 45207 & 3325 Hanna Ave Cincinnati, Ohio 45211.

Successful bidders must be able to commence work by December 16th, 2024, and complete the entire project no later than October 16th, 2025. Payment penalties will be included in the contract for the successful bidder if the awarded bidder is unable to meet deadlines.

The site is currently four vacant parcels of land that is located in the Evanston and Westwood neighborhoods. Pricing shall be based on the drawings and specifications provided. The goal of this project is to provide affordable housing for the residents of the Evanston and Westwood neighborhood.

Nothing in this RFP shall be construed to create any legal obligation on the part of the Landbank or any respondents. Landbank reserves the right, in its sole discretion, to amend, suspend, terminate, or reissue the RFP in whole or in part, at any stage. In no event shall the Landbank be liable to respondents for any cost or damages incurred in connection with the RFP process, including but not limited to, any and all costs, expenses, or fees related to this RFP. All supporting documentation submitted in response to this RFP will become the sole property of the Landbank. Respondents may also withdraw their interest in the RFP, in writing, at any point in time as more information becomes known.

This RFP is being emailed to prospective bidders, will be posted on both The Port's and Landbank's website (<u>www.CincinnatiPort.org</u> and <u>www.HamiltonCountyLandbank.org</u>). The Landbank encourages all qualified firms to apply.

Date of Issuance	10/04/2024
Requests for information Due	10/17/2024
Proposals Due	10/31/2024
Notification of Award	11/14/2024 (anticipated)
Execution of Contract	12/06/2024 (anticipated)
Commencement of Work	12/16/2024 (anticipated)







Section 2 Instructions to Bidders

Landbank shall not be obligated to accept the lowest price proposal but shall make an award in the best interests of the project.

Any Requests for Information (RFI) regarding this RFP must be submitted in writing either to the address below or by email to Deborah Robb at <u>drobb@cincinnatiport.org</u> and Muhammad Saram Waraich at <u>mwaraich@cincinnatiport.org</u>. RFIs shall be accepted no later than October 17th, 2024. A final Supplemental Instructions shall be issued no later than October 24th, 2024, concerning any RFIs received.

Hamilton County Land Reutilization Corporation Attn: Deborah Robb 3 East 4th Street Suite 300 Cincinnati, Ohio 45202

All proposals must be received by October 31st, 2024 by 4:00pm at either the address shown above or by email to Deborah Robb at <u>drobb@cincinnatiport.org</u> and Muhammad Saram Waraich at <u>mwaraich@cincinnatiport.org</u>. Physical proposals must be submitted in a sealed envelope labeled with the project name, "Evanston & Westwood New Construction Single-Family Dwelling", or emailed to drobb@cincinnatiport.org and mwaraich@cincinnatiport.org.

Landbank strives to continually have meaningful and substantial levels of participation by Minority Business Enterprises (MBEs), Women Business Enterprises (WBEs), and Small Business Enterprises (SBEs) in the services for which it contracts, and in its various contracts for development projects. Further, the landbank strives to increase the equity participation and/or ownership by MBEs and WBEs within those development projects.

The Landbank is committed to helping build and sustain strong MBEs, WBEs, and SBEs within the Greater Cincinnati community. The Landbank is further committed to empowering entrepreneurs, generating jobs, building tax base, and providing opportunities for wealth creation in every segment of society.

All contractors, subcontractors, suppliers, and service providers should have an equal opportunity to compete on contracts for services issued by the Port regardless of race, color, sex or national origin. It is also the aspiration that a fair share of contracts be awarded to small, minority, and women business enterprises. This will be promoted through the provision of educational opportunities, training, and a good faith effort by all involved to promote inclusion through locating and engaging qualified MBEs, WBEs, and SBEs. It is the Port's expectation that this aspiration can be achieved.







While there are no set-asides or preferences for suppliers, providers or developers, the Landbank is committed to empowering MBEs, WBEs, and SBEs; and to that end the Landbank will be vigilant in monitoring encouraging and facilitating the satisfaction of its goals in relation to the participation by MBEs, WBEs, and SBEs in all Landbank-related work. The goals of the Landbank in this regard are:

- 1. To aspire to achieve a total target goal of 25% Minority Business Enterprise (MBEs), 7% Women Business Enterprise (WBEs), and 30% Small Business Enterprise (SBEs) for:
 - ConstructionSupplies

- Services
- Services
 Professional Services
- 2. To require that all respondents to RFPs, RFQs, and other such solicitations for proposals, qualifications, or services commit and demonstrate, in writing, what best efforts they will make in order to meet these goals.
- 3. To work with the majority/prime contractors to track and support the sub-contractors they use on Landbank-related projects. The anticipated outcome is that they establish and maintain an Economic Inclusion Program for themselves, and for their future projects. The Landbank will assist them in finding subcontractors to support Landbank related project needs.
- 4. To use the criteria for certification in identifying minority and women owned businesses as defined by the National Minority Supplier Development Council (NMSDC) and the Women's Business Enterprise National Council (WBENC).
- 5. To accept certifications from the NMSDC, or the local affiliate council; the WBENC; the Small Business Administration (SBA); and local, state, and federal certifying organizations.
- 6. To accept certifications from the NMSDC, or the local affiliate council; the WBENC; the Small Business Administration (SBA); and local, state, and federal certifying organizations.
- 7. To require that all proposers or bidders submit an economic inclusion subcontractor utilization plan with their proposals, qualifications or bids. Failure to submit an economic inclusion subcontractor utilization plan with the proposals, qualifications or bids and other documentation that may be requested may deem the proposals, qualifications, or bids as non-responsive and may result in rejection of the proposals, qualifications or bids.







Section 3 Project Scope / Requirements

- 1. All work to be performed based on the drawings and specifications attached. Include all construction divisions from site work to finishes.
- 2. All dumpsters and required permits to be the responsibility of the selected contractor.
- 3. Any value engineering is encouraged but should be specifically called out on the proposal. Provide each value engineering item as a Voluntary Alternate listed on the proposal.
- 4. All finish materials and color selections shall be selected and approved by the owner. Bidder to assume standard building finish materials based on the plans and specifications. The goal of this project is to provide affordable housing in the Evanston & Westwood neighborhoods. It is the assumption on behalf of the owner that project materials will reflect this.
- 5. Any material allowances should be called out specifically in the proposal.
- 6. Construction of the homes shall conform to all City of Cincinnati Building Code criteria.
- 7. All OSHA regulations to be followed at all times.
- 8. Upon award, an overall construction schedule shall be provided to the Landbank.
- 9. The contractor warrants that the materials that it furnishes will be of good quality and new and will conform to the requirements of the contract. Any extended manufacturer's warranties to be provided to the owner upon completion of the project.
- 10. A final retainage of 10% (ten percent) of the total project budget may be held by the Landbank until both a "certificate of occupancy" or comparable equivalent, issued by the appropriate municipality, and a final inspection walk through with a representative of the Landbank.





THE PORT Making Real Estate Work

Section 4 Project Administration

- I. Insurance Requirements Contractor agrees to obtain, at its own expense, to have in force before commencing any work, and to maintain at all times while work is being performed under this Agreement, the following insurance:
 - a. Workers' Compensation Insurance in accordance with the requirements of the applicable laws of the State of Ohio; Stop-Gap Employer's Liability insurance with limits of not less than \$500,000; Bodily injury coverage of \$500,000 for each employee and \$500,000 in the aggregate (this may be provided as part of the Commercial General Liability policy).
 - b. Commercial General Liability Insurance, including contractual liability, bodily injury and property damage combined at a minimum of \$1,000,000 for each occurrence; personal and advertising injury coverage of \$1,000,000 for any one person or organization and \$1,000,000 in the aggregate. The policy should be endorsed to include:
 - i. A. Hamilton County Land Reutilization Corporation, the Port of Greater Cincinnati Development Authority (Management Company for the HCLRC) and any other persons or entities required by contract are to be additional insureds under ISO Additional Insured Endorsement CG 2010 11 85 or equivalent (attached hereto).
 - ii. Additional insured status must include ongoing operations as well as completed operations and work.
 - iii. Additional Insured status must be on a primary and non-contributory basis. Endorsement CG 2001 or equivalent (attached hereto).
 - iv. The commercial general liability insurance should also include a waiver of subrogation in favor of the Hamilton County Land Reutilization Corporation, Port of Greater Cincinnati Development Authority, and any other persons or entities required by contract to be additional insureds (suggested wording attached hereto).
 - v. The commercial general liability should include a minimum 30-day notice of cancellation provision to the Hamilton County Land Reutilization Corporation.
 - c. Automobile Insurance for owned, non-owned, and hired vehicles for a combined single limit of not less than \$1,000,000 for each occurrence. The policy should be endorsed to include the Hamilton County Land Reutilization Corporation, Port of Greater Cincinnati Development Authority, and any other persons or entities required by contract to be additional insureds on a primary and non-contributory basis.
 - d. Umbrella/Excess Liability Insurance, with coverage for Commercial General Liability and Automobile Liability with minimum limits of \$3,000,000 for each occurrence and \$3,000,000 aggregate. The policy should be endorsed to include:







- i. Hamilton County Land Reutilization Corporation, Port of Greater Cincinnati Development Authority, and any other persons or entities required by contract are to be additional insureds.
- ii. Additional insured status must include ongoing operations as well as completed operations and work.
- iii. Additional Insured status must be on a primary and non-contributory basis.
- iv. The umbrella/excess liability should also include a waiver of subrogation in favor of the Hamilton County Land Reutilization Corporation, Port of Greater Cincinnati Development Authority, and any other persons or entities required by contract to be additional insureds.
- II. Lien Waivers
 - a. Signed and notarized lien waivers are required from contractors and all subcontractors when submitting biweekly invoices.







Section 5 Proposal Requirements

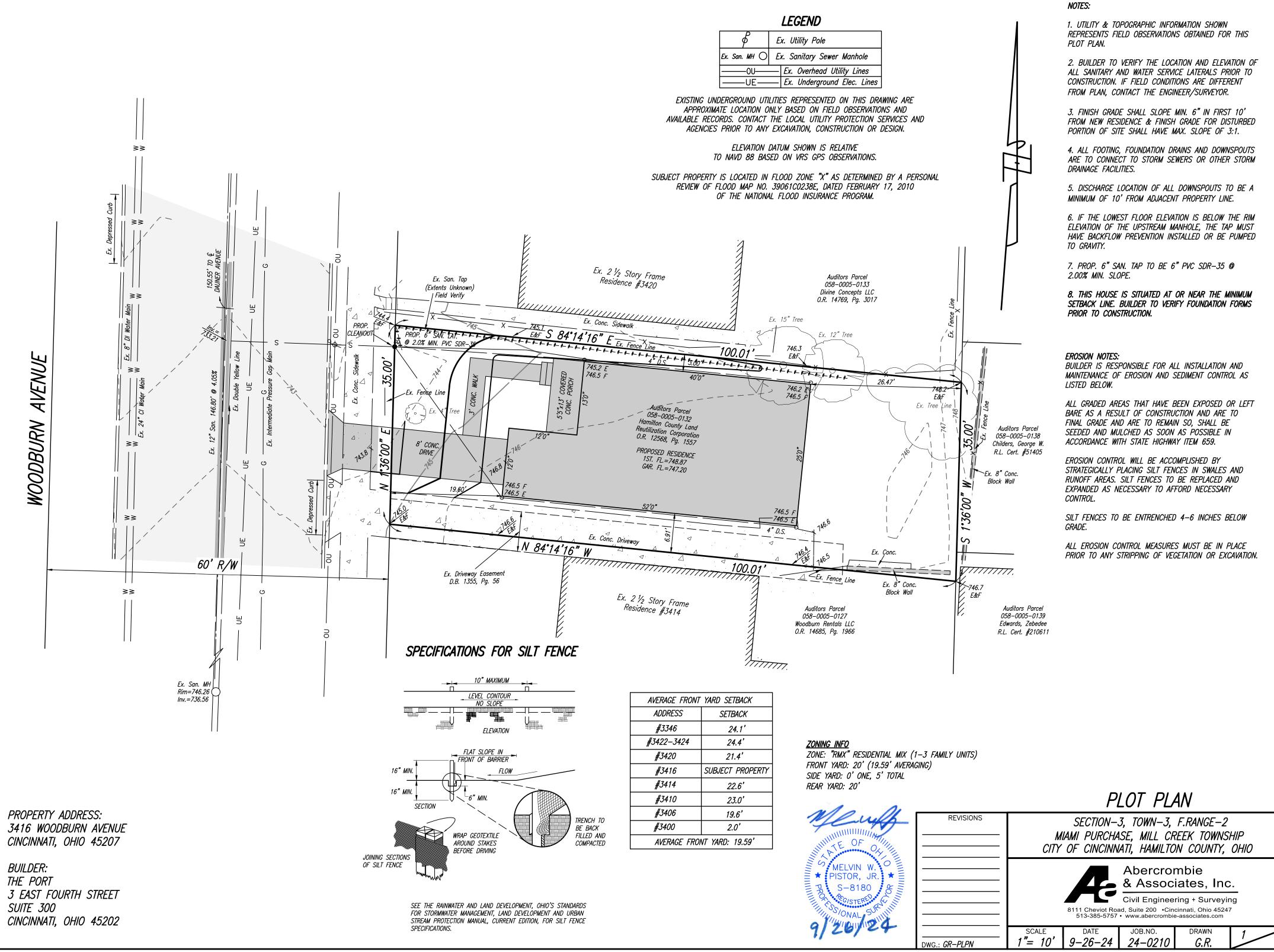
All proposals shall be organized in the following manner:

- Contact Information Name, address, phone number, and email of the individual or firm. If a firm, the name and title of the individual authorized to negotiate contract terms and make binding commitments shall be included and identified. If proposers bid as a team, bidder must identify team members as well as the key point of contact for the Port staff. Each person's role and responsibilities must be identified.
- 2. Please indicate any cost savings for completing multiple homes, if applicable, on the proposal as a Voluntary Alternate.
- 3. Experience:
 - a. Description of the firm's resources Please provide the names of all personnel who will be assigned to work with the Landbank, including previous experience.
 - b. Provide images and description of past projects to demonstrate experience with projects of a similar nature. Descriptions should include Key Information such as size, cost, location, year built, and any innovative aspects of the project, etc. If no prior project experience has been obtained, please state as such.
- 4. References: Provide a list of <u>up to</u> five references with contact information, preferably representatives of municipalities or owners of other projects of a similar nature you have completed. If this is not applicable, please state as such.

After written proposals have been reviewed, discussions with prospective firms may or may not be required to clarify any portions of the proposal.

The owner (Landbank) reserves the right to select multiple contractors to complete all four homes. Each contractor is to assume being awarded a maximum of four homes and a minimum of one home by December 2024.





October 2, 2024



Subject: Request for Availability of Sewer Service <u>APPROVAL</u> Single-Family - 1 Auditor's Parcel Number(s) 0058-0005-0132 3416 Woodburn Avenue Cincinnati APD Number CMD2400196

To Whom It May Concern:

The Metropolitan Sewer District of Greater Cincinnati (MSD) received a Request for Availability of Sewer Service (RASS) for the subject property. We reviewed information provided, on-site conditions, and our database to determine the feasibility of a sanitary connection to a nearby gravity sewer system. MSD's review and findings are based upon MSD Rules and Regulations, the Ohio Administrative Code 3701-29-06 (I), and best engineering judgement.

Sanitary sewer service is **available** for the subject property via connection to the existing public sewer in Woodburn Avenue. If the property owner chooses to pursue a connection to MSD's system, all work shall be subject to the following requirements and conditions:

- 1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/.
- 2. Special considerations should be made to protect MSD's infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor's expense. Once the connection point to the sewer has been uncovered, MSD's on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
- 3. In instances where the overflow rim of the lowest plumbing fixture in any proposed structure is below the rim elevation of the next upstream manhole in the sewer system to which the proposed structure is connected, a backwater valve shall be installed per Section 614 of the MSD Rules and Regulations.
- 4. A tap permit must be obtained per Section 1201 of the MSD Rules and Regulations. After the tap permit is issued, the sewer contractor must contact MSD WWE Inspections at 513.244.5537 or <u>MSDWWEInspections@cincinnati-oh.gov</u> for sewer inspection.
- 5. All sewer tappers making building sewer connections to the MSD sewer system shall be licensed and bonded by MSD per Section 1212 of the MSD Rules and Regulations.
- 6. The person to whom a tap permit or special permit is issued shall be responsible for obtaining any additional permits required to open-cut any public street, road, or highway from the appropriate public authority having jurisdiction per Section 1210 of the MSD Rules and Regulations.
- 7. All storm and sanitary sewer flows shall be separated within the development site before discharging to the combined sewer system per Section 302 of the MSD Rules and regulations.
- 8. For additional site stormwater requirements within the City of Cincinnati, contact the City of Cincinnati's Stormwater Management Utility (SMU) at 513.591.5050.

The conditional availability of sewer service as described in this letter is effective until one year from the date of this letter and may be extended for one additional year per Article V, Section 510 of the MSD Rules

and Regulations. Time extension requests may be made within thirty (30) days of the expiration date of this application through the MSD website at the following link: <u>REQUEST for AVAILABILITY of SEWER</u> <u>SERVICE Form Webpage</u>. Subsequent extension requests may or may not be granted depending on the availability of sewer credits, the hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

This determination of sewer availability is based on the best information available at this time to the Metropolitan Sewer District of Greater Cincinnati. It is subject to modification or revocation resulting from regulatory action taken by the United States Environmental Protection Agency, the State of Ohio Environmental Protection Agency, federal consent decrees, or other judicial action ordered by federal courts of the United States Government or the courts of the State of Ohio.

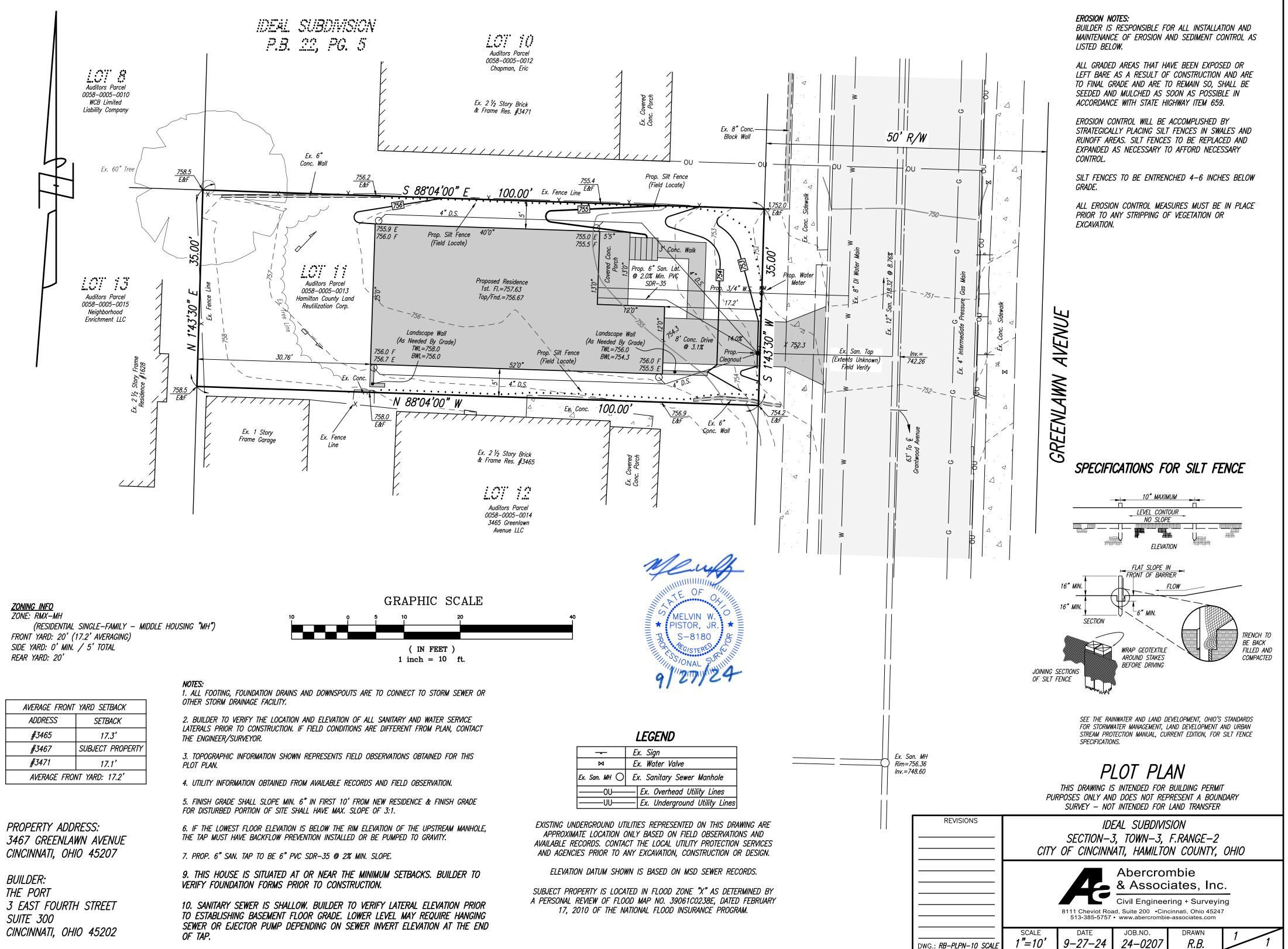
If you have any questions, please call William Weinheimer at 513.882.8464 or me at 513.882.8468.

Sincerely,

Robert Franklin MSD-ODOT Liaison | MSD Availability | MSD Utility Review Metropolitan Sewer District of Greater Cincinnati (MSD) Cell: 513.882.8468 | Email: <u>Rob.Franklin@cincinnati-oh.gov</u>

RF: ww

c: Availability File, Cincinnati, Katherine Keough-Jurs



October 2, 2024



Subject: Request for Availability of Sewer Service <u>APPROVAL</u> Single-Family - 1 Auditor's Parcel Number(s) 0058-0005-0013 3467 Greenlawn Avenue Cincinnati APD Number CMD2400195

To Whom It May Concern:

The Metropolitan Sewer District of Greater Cincinnati (MSD) received a Request for Availability of Sewer Service (RASS) for the subject property. We reviewed information provided, on-site conditions, and our database to determine the feasibility of a sanitary connection to a nearby gravity sewer system. MSD's review and findings are based upon MSD Rules and Regulations, the Ohio Administrative Code 3701-29-06 (I), and best engineering judgement.

Sanitary sewer service is **available** for the subject property via connection to the existing public sewer in Greenlawn Avenue. If the property owner chooses to pursue a connection to MSD's system, all work shall be subject to the following requirements and conditions:

- 1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/.
- 2. Special considerations should be made to protect MSD's infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor's expense. Once the connection point to the sewer has been uncovered, MSD's on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
- 3. In instances where the overflow rim of the lowest plumbing fixture in any proposed structure is below the rim elevation of the next upstream manhole in the sewer system to which the proposed structure is connected, a backwater valve shall be installed per Section 614 of the MSD Rules and Regulations.
- 4. A tap permit must be obtained per Section 1201 of the MSD Rules and Regulations. After the tap permit is issued, the sewer contractor must contact MSD WWE Inspections at 513.244.5537 or <u>MSDWWEInspections@cincinnati-oh.gov</u> for sewer inspection.
- 5. All sewer tappers making building sewer connections to the MSD sewer system shall be licensed and bonded by MSD per Section 1212 of the MSD Rules and Regulations.
- 6. The person to whom a tap permit or special permit is issued shall be responsible for obtaining any additional permits required to open-cut any public street, road, or highway from the appropriate public authority having jurisdiction per Section 1210 of the MSD Rules and Regulations.
- 7. All storm and sanitary sewer flows shall be separated within the development site before discharging to the combined sewer system per Section 302 of the MSD Rules and regulations.
- 8. For additional site stormwater requirements within the City of Cincinnati, contact the City of Cincinnati's Stormwater Management Utility (SMU) at 513.591.5050.

The conditional availability of sewer service as described in this letter is effective until one year from the date of this letter and may be extended for one additional year per Article V, Section 510 of the MSD Rules

and Regulations. Time extension requests may be made within thirty (30) days of the expiration date of this application through the MSD website at the following link: <u>REQUEST for AVAILABILITY of SEWER</u> <u>SERVICE Form Webpage</u>. Subsequent extension requests may or may not be granted depending on the availability of sewer credits, the hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

This determination of sewer availability is based on the best information available at this time to the Metropolitan Sewer District of Greater Cincinnati. It is subject to modification or revocation resulting from regulatory action taken by the United States Environmental Protection Agency, the State of Ohio Environmental Protection Agency, federal consent decrees, or other judicial action ordered by federal courts of the United States Government or the courts of the State of Ohio.

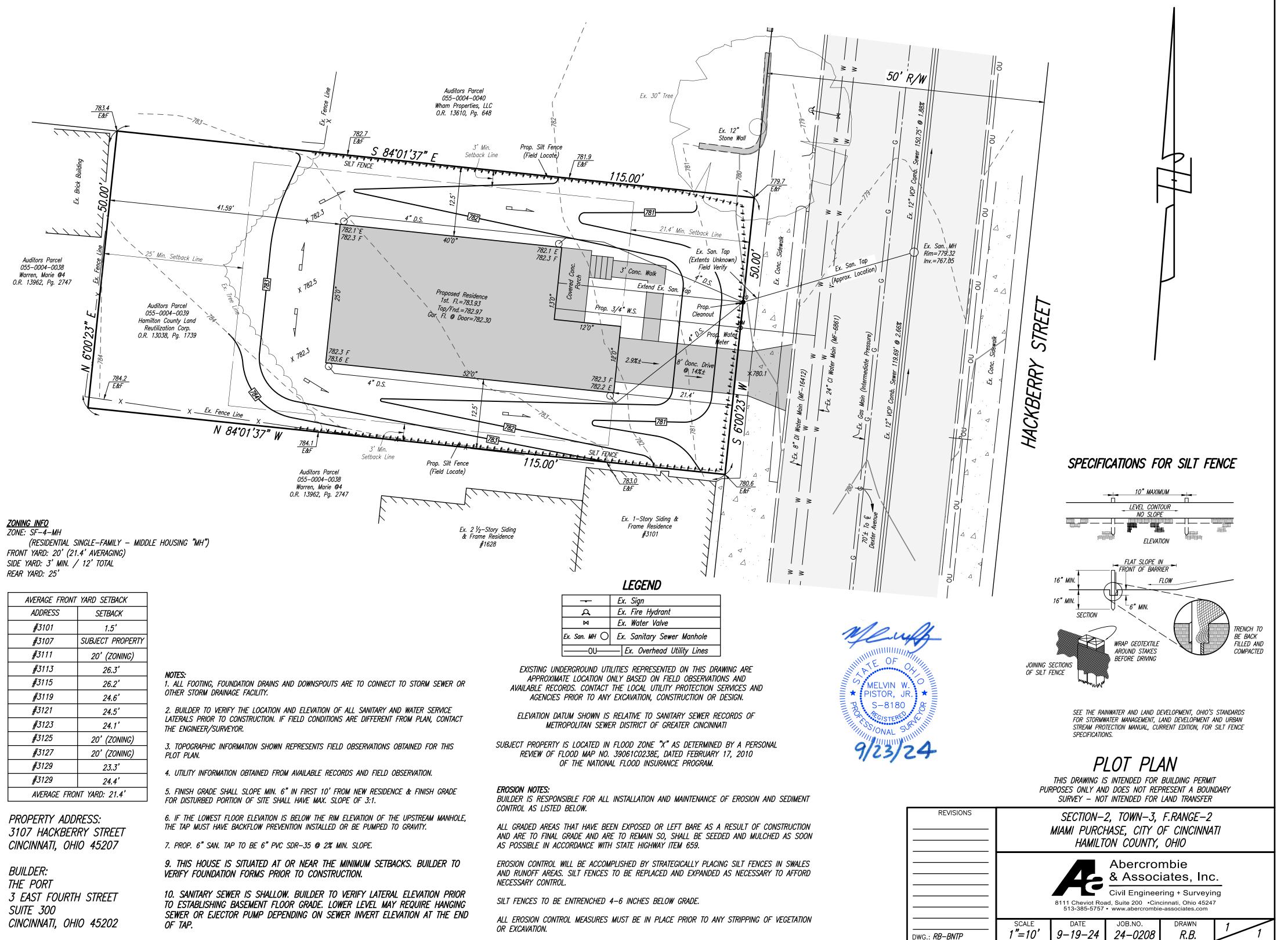
If you have any questions, please call William Weinheimer at 513.882.8464 or me at 513.882.8468.

Sincerely,

Robert Franklin MSD-ODOT Liaison | MSD Availability | MSD Utility Review Metropolitan Sewer District of Greater Cincinnati (MSD) Cell: 513.882.8468 | Email: <u>Rob.Franklin@cincinnati-oh.gov</u>

RF: ww

c: Availability File, Cincinnati, Katherine Keough-Jurs



AVERAGE FRONT YARD SETBACK				
ADDRESS	SETBACK			
#3101	1.5'			
#3107	SUBJECT PROPERTY			
#3111	20' (ZONING)			
#3113	26.3 '			
#3115	26.2'			
#3119	24.6'			
#3121	24.5'			
#3123	24.1'			
#3125	20' (ZONING)			
#3127	20' (ZONING)			
#3129	23.3'			
#3129	24.4'			
AVERAGE FRONT YARD: 21.4'				

October 2, 2024



Subject: Request for Availability of Sewer Service <u>APPROVAL</u> Single-Family - 1 Auditor's Parcel Number(s) 0055-0004-0039 3107 Hackberry Street Cincinnati APD Number CMD2400198

To Whom It May Concern:

The Metropolitan Sewer District of Greater Cincinnati (MSD) received a Request for Availability of Sewer Service (RASS) for the subject property. We reviewed information provided, on-site conditions, and our database to determine the feasibility of a sanitary connection to a nearby gravity sewer system. MSD's review and findings are based upon MSD Rules and Regulations, the Ohio Administrative Code 3701-29-06 (I), and best engineering judgement.

Sanitary sewer service is **available** for the subject property via connection to the existing public sewer in Hackberry Street. If the property owner chooses to pursue a connection to MSD's system, all work shall be subject to the following requirements and conditions:

- 1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/.
- 2. Special considerations should be made to protect MSD's infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor's expense. Once the connection point to the sewer has been uncovered, MSD's on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
- 3. In instances where the overflow rim of the lowest plumbing fixture in any proposed structure is below the rim elevation of the next upstream manhole in the sewer system to which the proposed structure is connected, a backwater valve shall be installed per Section 614 of the MSD Rules and Regulations.
- 4. A tap permit must be obtained per Section 1201 of the MSD Rules and Regulations. After the tap permit is issued, the sewer contractor must contact MSD WWE Inspections at 513.244.5537 or <u>MSDWWEInspections@cincinnati-oh.gov</u> for sewer inspection.
- 5. All sewer tappers making building sewer connections to the MSD sewer system shall be licensed and bonded by MSD per Section 1212 of the MSD Rules and Regulations.
- 6. The person to whom a tap permit or special permit is issued shall be responsible for obtaining any additional permits required to open-cut any public street, road, or highway from the appropriate public authority having jurisdiction per Section 1210 of the MSD Rules and Regulations.
- 7. All storm and sanitary sewer flows shall be separated within the development site before discharging to the combined sewer system per Section 302 of the MSD Rules and regulations.
- 8. For additional site stormwater requirements within the City of Cincinnati, contact the City of Cincinnati's Stormwater Management Utility (SMU) at 513.591.5050.

The conditional availability of sewer service as described in this letter is effective until one year from the date of this letter and may be extended for one additional year per Article V, Section 510 of the MSD Rules

and Regulations. Time extension requests may be made within thirty (30) days of the expiration date of this application through the MSD website at the following link: <u>REQUEST for AVAILABILITY of SEWER</u> <u>SERVICE Form Webpage</u>. Subsequent extension requests may or may not be granted depending on the availability of sewer credits, the hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

This determination of sewer availability is based on the best information available at this time to the Metropolitan Sewer District of Greater Cincinnati. It is subject to modification or revocation resulting from regulatory action taken by the United States Environmental Protection Agency, the State of Ohio Environmental Protection Agency, federal consent decrees, or other judicial action ordered by federal courts of the United States Government or the courts of the State of Ohio.

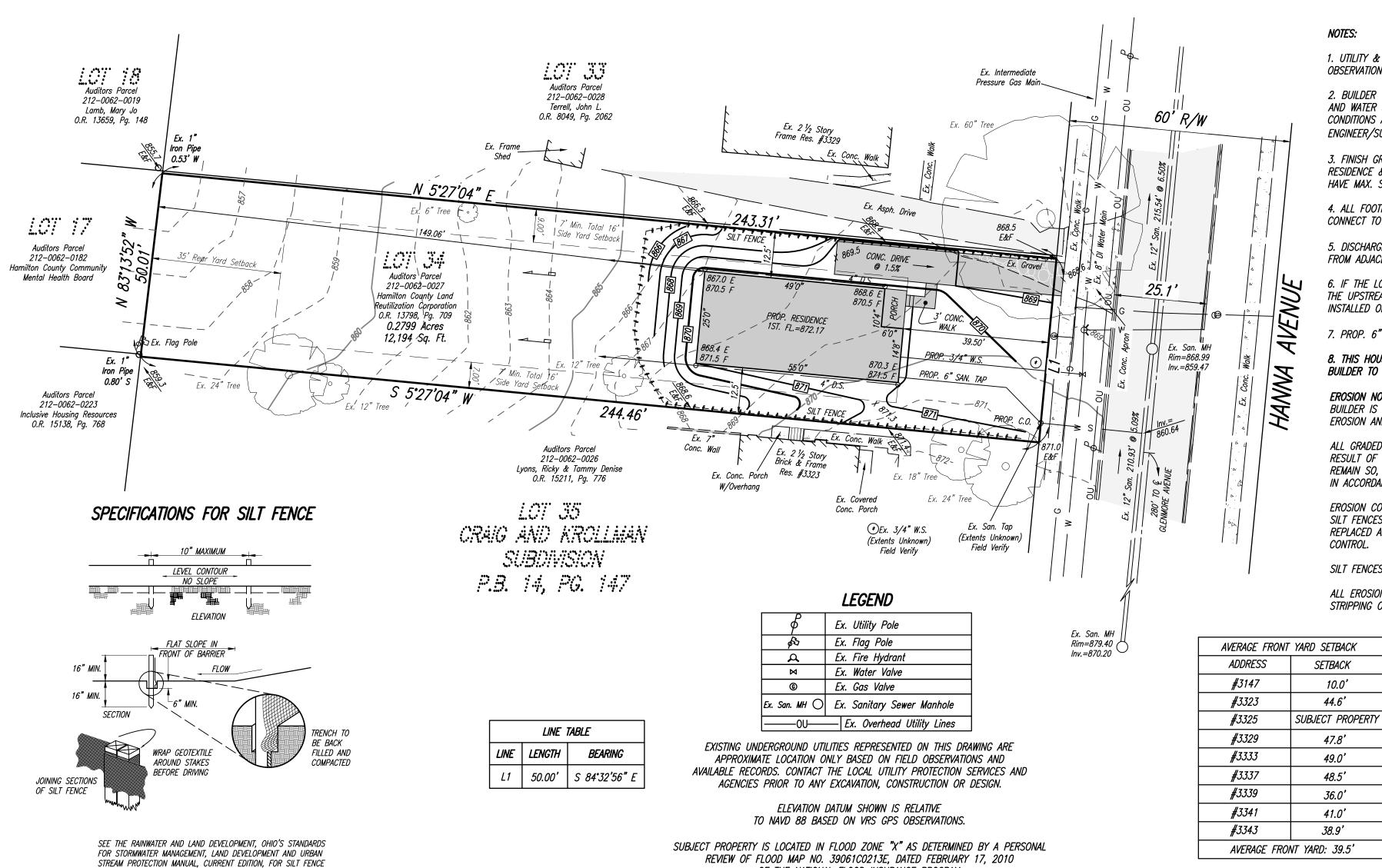
If you have any questions, please call William Weinheimer at 513.882.8464 or me at 513.882.8468.

Sincerely,

Robert Franklin MSD-ODOT Liaison | MSD Availability | MSD Utility Review Metropolitan Sewer District of Greater Cincinnati (MSD) Cell: 513.882.8468 | Email: <u>Rob.Franklin@cincinnati-oh.gov</u>

RF: ww

c: Availability File, Cincinnati, Katherine Keough-Jurs



PROPERTY ADDRESS: 3325 HANNA AVENUE CINCINNATI, OHIO 45207

SPECIFICATIONS.

BUILDER: THE PORT 3 EAST FOURTH STREET SUITE 300 CINCINNATI, OHIO 45202

OF THE NATIONAL FLOOD INSURANCE PROGRAM.

MELVIN W ISTOR, JR. S-8180

NOTES:

1. UTILITY & TOPOGRAPHIC INFORMATION SHOWN REPRESENTS FIELD OBSERVATIONS OBTAINED FOR THIS PLOT PLAN.

2. BUILDER TO VERIFY THE LOCATION AND ELEVATION OF ALL SANITARY AND WATER SERVICE LATERALS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE DIFFERENT FROM PLAN, CONTACT THE ENGINEER/SURVEYOR.

3. FINISH GRADE SHALL SLOPE MIN. 6" IN FIRST 10' FROM NEW RESIDENCE & FINISH GRADE FOR DISTURBED PORTION OF SITE SHALL HAVE MAX. SLOPE OF 3:1.

4. ALL FOOTING, FOUNDATION DRAINS AND DOWNSPOUTS ARE TO CONNECT TO STORM SEWERS OR OTHER STORM DRAINAGE FACILITIES.

5. DISCHARGE LOCATION OF ALL DOWNSPOUTS TO BE A MINIMUM OF 10' FROM ADJACENT PROPERTY LINE.

6. IF THE LOWEST FLOOR ELEVATION IS BELOW THE RIM ELEVATION OF THE UPSTREAM MANHOLE, THE TAP MUST HAVE BACKFLOW PREVENTION INSTALLED OR BE PUMPED TO GRAVITY.

7. PROP. 6" SAN. TAP TO BE 6" PVC SDR-35 @ 2.00% MIN. SLOPE.

8. THIS HOUSE IS SITUATED AT OR NEAR THE MINIMUM SETBACK LINE. BUILDER TO VERIFY FOUNDATION FORMS PRIOR TO CONSTRUCTION.

EROSION NOTES:

SETBACK

10.0'

44.6'

47.8'

49.0′

48.5'

36.0'

41.0'

38.9'

BUILDER IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL AS LISTED BELOW.

ALL GRADED AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE IN ACCORDANCE WITH STATE HIGHWAY ITEM 659.

EROSION CONTROL WILL BE ACCOMPLISHED BY STRATEGICALLY PLACING SILT FENCES IN SWALES AND RUNOFF AREAS. SILT FENCES TO BE REPLACED AND EXPANDED AS NECESSARY TO AFFORD NECESSARY CONTROL.

SILT FENCES TO BE ENTRENCHED 4-6 INCHES BELOW GRADE.

ALL EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY STRIPPING OF VEGETATION OR EXCAVATION.

ZONING_INFO	
ZONE: "SF-6" SINGLE FAMILY RES	SIDENC
FRONT YARD: 25' (39.48' AVERAG	
SIDE YARD: 7' ONÈ, 16' TOTAL	
REAR YARD: 35'	



REVISIONS	CRAIG AND KROLLMAN SUBDIVISION SECTION—14, TOWN—2, F.RANGE—2, MIAMI PURCHASE CITY OF CINCINNATI, HAMILTON COUNTY, OHIO					
		Abercrombie & Associates, Inc.				
	Civil Engineering + Surveying 8111 Cheviot Road, Suite 200 •Cincinnati, Ohio 45247 513-385-5757 • www.abercrombie-associates.com					
Dwg.: <i>GR-PLPN</i>	scale 1 "= 20'	DATE 9-18-24	job.no. 24–0209	drawn <i>G.R</i> .	1 1	

October 2, 2024



Subject: Request for Availability of Sewer Service <u>APPROVAL</u> Single-Family - 1 Auditor's Parcel Number(s) 0212-0062-0027 3325 Hanna Avenue Cincinnati APD Number CMD2400197

To Whom It May Concern:

The Metropolitan Sewer District of Greater Cincinnati (MSD) received a Request for Availability of Sewer Service (RASS) for the subject property. We reviewed information provided, on-site conditions, and our database to determine the feasibility of a sanitary connection to a nearby gravity sewer system. MSD's review and findings are based upon MSD Rules and Regulations, the Ohio Administrative Code 3701-29-06 (I), and best engineering judgement.

Sanitary sewer service is **available** for the subject property via connection to the existing public sewer in Hanna Avenue. If the property owner chooses to pursue a connection to MSD's system, all work shall be subject to the following requirements and conditions:

- 1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/.
- 2. Special considerations should be made to protect MSD's infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor's expense. Once the connection point to the sewer has been uncovered, MSD's on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
- 3. In instances where the overflow rim of the lowest plumbing fixture in any proposed structure is below the rim elevation of the next upstream manhole in the sewer system to which the proposed structure is connected, a backwater valve shall be installed per Section 614 of the MSD Rules and Regulations.
- 4. A tap permit must be obtained per Section 1201 of the MSD Rules and Regulations. After the tap permit is issued, the sewer contractor must contact MSD WWE Inspections at 513.244.5537 or <u>MSDWWEInspections@cincinnati-oh.gov</u> for sewer inspection.
- 5. All sewer tappers making building sewer connections to the MSD sewer system shall be licensed and bonded by MSD per Section 1212 of the MSD Rules and Regulations.
- 6. The person to whom a tap permit or special permit is issued shall be responsible for obtaining any additional permits required to open-cut any public street, road, or highway from the appropriate public authority having jurisdiction per Section 1210 of the MSD Rules and Regulations.
- 7. All storm and sanitary sewer flows shall be separated within the development site before discharging to the combined sewer system per Section 302 of the MSD Rules and regulations.
- 8. For additional site stormwater requirements within the City of Cincinnati, contact the City of Cincinnati's Stormwater Management Utility (SMU) at 513.591.5050.

The conditional availability of sewer service as described in this letter is effective until one year from the date of this letter and may be extended for one additional year per Article V, Section 510 of the MSD Rules

and Regulations. Time extension requests may be made within thirty (30) days of the expiration date of this application through the MSD website at the following link: <u>REQUEST for AVAILABILITY of SEWER</u> <u>SERVICE Form Webpage</u>. Subsequent extension requests may or may not be granted depending on the availability of sewer credits, the hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

This determination of sewer availability is based on the best information available at this time to the Metropolitan Sewer District of Greater Cincinnati. It is subject to modification or revocation resulting from regulatory action taken by the United States Environmental Protection Agency, the State of Ohio Environmental Protection Agency, federal consent decrees, or other judicial action ordered by federal courts of the United States Government or the courts of the State of Ohio.

If you have any questions, please call William Weinheimer at 513.882.8464 or me at 513.882.8468.

Sincerely,

Robert Franklin MSD-ODOT Liaison | MSD Availability | MSD Utility Review Metropolitan Sewer District of Greater Cincinnati (MSD) Cell: 513.882.8468 | Email: <u>Rob.Franklin@cincinnati-oh.gov</u>

RF: ww

c: Availability File, Cincinnati, Katherine Keough-Jurs



Sheri Scott Springhouse Architects 205 East Street Springboro, OH 45066 sheri@springhousearchitects.com www.springhousearchitects.com



New Single Family Home 3416 Woodburn Ave. Cincinnati, Ohio 45207

Energy Efficiency Compliance

1.) METHOD: RCO 2019 - RCO PRESCRIPTIVE METHOD, SEE MIN. VALUES BELOW

VALUE U FACTOR = .32

U FACTOR = .55

R-VALUE = 30 MIN

R-VALUE = 49 MIN

R-VALUE = 20 MIN

R-VALUE = 19 MIN

R-VALUE = 10 MIN

R-VALUE = 10R-VALUE = 10 MIN

U FACTOR = .3U FACTOR = .35 MAX



OF 78*F

NOTES IF APPLICABLE NO ATTIC

> 2x6 WOOD FRAMING R-13 POLY FACED 2' MIN DEPTH CONTINUOUS

R-VALUE = 8/6 MIN (<3") UNCOND. SPACES

2.) HIGH EFFICIENCY LAMPS TO BE PROVIDED IN MIN. 90% OF ALL LIGHTING FIXTURES 3.) PROGRAMMABLE THERMOSTAT TO BE PROVIDED AND INITIALLY SET FOR HEATING OF 70*F AND COOLING

Sheet Index

- C.0 Cover Sheet
- C.1 **Structural Notes**
- 2.0 Foundation & First Floor Plans
- 3.0 Second Floor Plan
- 4.0 **Exterior Elevations**
- 5.0 5.1
 - **Building Sections Detail Sections**

Drawing Symbols



- Exhaust Fan
- Smoke Detector Carbon Monoxide Detector
- Floor Drain HB 🛥



- Hose Bibb Section/Elevation Marker
- Material Tag
 - Window Tag

General Notes

GOVERNING CODE - 2019 OHIO RESIDENTIAL CODE, ALL WORK SHALL CONFORM TO THIS CODE AND ALL OTHER LOCAL AND APPLICABLE CODES.

BIDDING INSTRUCTIONS: CONTRACTOR TO BID SCOPE OF WORK DEFINED HEREIN IN LINE-ITEM FORMAT. OWNER MAY ASK FOR ADDITIONAL BREAKDOWN OF BID PRIOR TO AWARD. REFER TO CONSTRUCTION DOCUMENT SHEETS FOR ADDITIONAL NOTES.

- 1. DO NOT SCALE DRAWINGS
- ALL BEDROOMS SHALL HAVE A MINIMUM OF ONE WINDOW THAT COMPLIES WITH LOCAL EGRESS REQUIREMENTS
- STRUCTURAL FRAMING MEMBER TO HAVE A MINIMUM FB. = 1275 PSI 3.
- ALL EXTERIOR BEARING WALL HEADERS TO BE (3) 2x10's

ALL EXTERIOR BEARING HEADERS LESS THAN 6'-0" SPAN REQ. 1 JACK 1 KING EACH SIDE ALL EXTERIOR BEARING HEADERS LMORE THAN 6'-0" SPAN REQ. 2 JACK 2 KING EACH SIDE ALL INTERIOR BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x8's U.N.O.

ALL INTERIOR BEARING HEADERS 4'-0" - 6'-0" SPAN TO BE (2) 2x10's U.N.O. ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x4's U.N.O.

ALL INTERIOR NON-BEARING HEADERS 4'-0" - 8'-0" SPAN TO BE (2) 2x6's U.N.O.

- DETAILS FOR ALL ENGINEERED LUMBER PRODUCTS, i.e. GLU-LAMS, MICRO-LAMS, TJI'S ROOF TRUSSES, ETC. TO BE FURNISHED BY MANUFACTURER.
- GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECTS OFFICE TRUSS DESIGN AND LAYOUT DRAWINGS IF DESIGN DEVIATES FROM ARCHITECTS CONSTRUCTION DOCUMENTS. SUBMIT DRAWINGS WITH DEVIATIONS NOTED FOR REVIEW AND COORDINATION PRIOR TO BEGINNING OF CONSTRUCTION AND TRUSS FABRICATION
- INSTALL SAFETY GLAZING IN LOCATIONS SPECIFIED BY LOCAL CODE.

CONTRACTOR TO PROVIDE "GRACE" ICE & WATER SHIELD AT ALL ROOF EAVES, PEAKS, VALLEYS & VERTICAL WALL INTERSECTIONS. SHEET SHALL EXTEND FROM EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. (RCO 905.2.7.1)

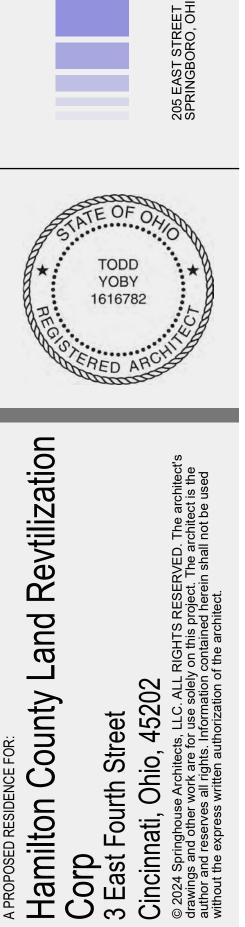
- SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATION AND INSTALLATION SPECIFICATIONS
- SEPARATE CIVIL ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS. SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY GENERAL CONTRACTOR. 11
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED 12. SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- 13. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD ANY DISCREPANCIES WILL BE 14. BROUGHT TO THE ATTENTION OF THE ARCHITECT. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL 15.
- CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. IN FULL DEPTH MASONRY WALLS, EXPANSION JOINTS SHALL BE LOCATED IN FIELD BY MASON, MAX 16.
- DISTANCE 20'-"0 O.C. ON LONGER STRAIGHT CONTINUOUS WALLS. FLOOR SYSTEMS TO BE DESIGNED AT L/720 AT ALL TILE FLOOR LOCATION. COORDINATE WITH 17 ARCHITECT IF NOT CLEARLY INDICATED ON DRAWINGS.
- SMOKE ALARMS TO USE DUAL-TYPE DETECTION INCLUDING BOTH PHOTOELECTRIC AND IONIZATION 18. TECHNOLOGIES PER RCO SECTION 314.1.

Design Loads

- 1.) MIN. REQUIRED DESIGN LOADS: A.) FLOOR LIVE LOAD = 40 PSF; SNOW = 20 PSF B.) GARAGE FLOOR LIVE LOAD = 50 PSF C.) WIND LOAD = 115 MPH (3-SEC GUST) D.) SOIL BEARING CAPACITY = 1,500 PSF 2.) THE MAX ALLOWABLE LIVE LOAD DEFLECTION OR STRUCTURAL MEMBERS: A.) CONCRETE FLOORS = L/360 B.) WALLS W/ MASONRY VENEER = L/240 C.) WALLS W/ SIDING = L/120 D.) ROOF TRUSSES (OR RAFTERS) = L/180
- E.) ALL OTHER STRUCTURAL MEMBERS = L/240
- 3.) MIN. COMPRESSIVE STRENGTH OF CONCRETE: A.) FOOTING/PIERS = 3,500 PSI
-) FOUNDATION WALLS = 3,500 PSI GARAGE FLOORS = 4,000 PS

EXTERIOR WALKS & LANDINGS = 4,500 PSI ALL CONCRETE EXPOSED TO WEATHER OR SUBJECT TO FREEZING OR THAWING DURING CONSTRUCTION SHALL HAVE AIR ENTRAINMENT BETWEEN 5-7%.

4.) ALL RAFTERS, RIDGE BOARDS, RIDGE BEAMS, HEADERS, & CEILING JOISTS (OR CROSS TIES) SHALL BE MIN. NO. 2 GRADE SO. YELLOW PINE. ALL EXTERIOR WALL STUDS SHALL BE MIN. STUD GRADE SPF. 5.) ALL LUMBER IN DIRECT CONTACT WITH CONCRETE, MASONRY, OR IN PROXIMITY TO EXPOSED GROUND SHALL BE PRESSURE TREATED FOR EXTERIOR USE. ALL LUMBER IN DIRECT CONTACT WITH THE GROUND SUPPORTING DECK TO BE PRESSURE TREATED FOR GROUND CONTACT USE. 6.) ALL STRUCTURAL MEMBERS SHALL BE FULL LENGTH (NO SPLICES) OR SPLICES SHALL BE APPROVED & OCCUR AT ADEQUATE STRUCTURAL BEARING. 7.) ALL STRUCTURAL BOLTS SHALL BE A MIN 1/2" DIAM., CORROSION-RESISTANT, AND SHALL BE COMPATIBLE WITH THE SPECIFIC TYPE OF PRESSURE TREATED LUMBER BEING USED. 8.) ALL PRE-ENGINEERED STRUCTURAL WOOD CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & INSTALLATION INSTRUCTIONS (INCLUDING PROPER FASTENER TYPE AND SIZE). 9.) WOOD HEADERS WITH CLEAR SPANS OVER 6FT REQUIRE A MINIMUM (2) JACK STUDS & (1) KING STUD EACH SIDE.





DATE:

FILE NUMBER: 24-450 DRAWN BY: HB

CHECKED BY:

ΤY

PERMIT DATE:

DRAWING TITLE:

Cover Sheet





bu

•

0

S



RESIDENTIAL STRUCTURAL NOTES

FOUNDATIONS

- FOUNDATION ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES AND MAY VARY TO SUIT SUBSURFACE SOIL CONDITION. ELEVATION AND BEARING STRATA SHALL BE APPROVED PRIOR TO PLACING CONCRETE.
- ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL. DESIGN ALLOWABLE SOIL BEARING PRESSURE BELOW FOOTINGS = 1500 PSF.
- ALL FOOTINGS SHALL BE CONTINUOUS. SHALLOW FOOTINGS AT CRAWL SPACES AND OTHER STEPPED FOOTINGS SHALL STEP DOWN TO THE ELEVATION OF BASEMENT FOOTINGS AT A RATIO OF 2 FEET VERTICAL TO 4 FEET HORIZONTAL.
- THE FOLLOWING LATERAL SOIL PRESSURE PARAMETERS HAVE BEEN ASSUMED FOR THE **DESIGN OF FOUNDATIONS:**
- A. BASEMENT WALLS: 45 PCF EQUIVALENT FLUID PRESSURE, TRIANGULAR DISTRIBUTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND
- SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
- BACKFILL ALONG EXTERIOR FACE OF ALL PERIMETER FOOTINGS, AND ALONG EXTERIOR RETAINING TYPE WALLS SHALL BE A WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY UP TO WITHIN 12 INCHES OF THE FINISHED GRADE. TOP 12" OF BACKFILL SHALL BE COMPACTED CLAYEY MATERIAL. AT THE BOTTOM OF THE GRANULAR MATERIAL, PLACE A 4" DIAMETER SCHD. 35 PVC (MIN.) PERFORATED FOUNDATION DRAIN PIPE WITH POSITIVE DRAINAGE TO SUMP OR TO DAYLIGHT.
- APPLIED TECHNOLOGIES "HYDRA-GUARD" WATERPROOFING SYSTEM (OR RUB-R-WALL WATERPROOFING MEMBRANE SYSTEM) PLUS PROTECTION BOARD SHALL BE APPLIED ON ALL BASEMENT FOUNDATION WALLS AND FOOTINGS BELOW GRADE.
- CRAWL SPACES SHALL HAVE 6" OF PEA GRAVEL INSTALLED OVER 6 MIL VAPOR BARRIER.
- FINISHED GRADE SHALL SLOPE 6" IN THE FIRST 10' MINIMUM AWAY FROM THE PERIMETER FOUNDATION.

CONCRETE

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-99, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW, AND THE RECOMMENDED PRACTICE FOR **RESIDENTIAL CONCRETE CONSTRUCTION ACI-332R-84.**

2. MATERIALS:

- CONCRETE FOR INTERIOR SLAB ON GRADE: fc = 3500 PSI., NORMAL AGGREGATE.
- CONCRETE FOR EXTERIOR FLAT WORK, WALKS, GARAGE SLABS, ETC.: fc = 4500 PSI, (4.5% TO 7.5% ENTRAINED AIR). MINIMUM CEMENT CONTENT = 520 #/CY, MAXIMUM WATER / CEMENTITIOUS RATIO = 0.45. LIMIT POZZOLAN CONTENT PER ACI 301-99 TABLE 4.2.2.8.
- CONCRETE FOR FOUNDATION WALLS: fc = 3500 PSI, (5% TO 7% ENTRAINED AIR). С. MAXIMUM WATER / CEMENTITIOUS RATIO = 0.50.
- CONCRETE FOR FOOTINGS: f'c = 3000 PSI. D.

REINFORCING STEEL: ASTM A615 60 KSI YIELD DEFORMED BARS AND ASTM A185 MESH (SHEETS ONLY).

- ADMIXTURES: ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.
- IF CONCRETE ARRIVES AT THE SITE WITH A SLUMP BELOW THE SPECIFIED SLUMP AND IS 3 UNSUITABLE FOR PLACING AT THAT SLUMP, THE SLUMP MAY BE ADJUSTED ONCE ONLY BY ADDING WATER UP TO THE AMOUNT ALLOWED IN THE ACCEPTED MIXTURE PROPORTIONS. ADDITION OF WATER SHALL BE IN ACCORDANCE WITH ASTM C94. DO NOT EXCEED THE SPECIFIED WATER-CEMENTITIOUS MATERIAL RATIO OR SLUMP IN THE APPROVED MIX DESIGN. DO NOT ADD WATER TO CONCRETE DELIVERED IN EQUIPMENT NOT ACCEPTABLE FOR MIXING.
- WHEN THE AIR TEMPERATURE IS LESS THAN 40° F, THE TEMPERATURE OF THE CONCRETE SHALL BE MAINTAINED BETWEEN 50° AND 70°F FOR 7 DAYS.
- DURING HOT WEATHER, WHEN NECESSARY, PROVIDE FOR PROTECTIVE MEASURES IN ADVANCE OF PLACEMENT.
- AT CORNERS AND INTERSECTIONS OF WALLS AND GRADE BEAMS, PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNER AND/OR INTO ABUTTING WALL OR GRADE BEAM. BARS SHALL HAVE EMBEDMENT OF 30 DIAMETERS (18" MIN.).
- LAP SPLICE REINFORCING BARS AS FOLLOWS. LAP WELDED WIRE FABRIC MESH 12".

Horizontal bars with more than 12" of concrete below	All other Bars						
#3	23"	# 6	47"	#3	18"	#6	35"
#4	31"	#7	54"	#4	25"	#7	44"
#5	39"	#8	62"	#5	31"	#8	50"

- AT SLAB AND WALL OPENING CORNERS AND REENTRANT CORNERS, PROVIDE (1) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST EDGE OF OPENING. THIS STEEL MAY BE OMITTED IF TYPICAL SLAB OR WALL STEEL EXCEEDS THIS MINIMUM REQUIREMENT.
- ALL CAST-IN-PLACE CONCRETE WALLS SHALL BE PLACED CONTINUOUSLY WITH NO COLD JOINTS AND VIBRATED ADEQUATELY TO PREVENT AIR POCKETS. WHERE VERTICAL JOINT REQUIRED, CAST WALL FULL HEIGHT AND EXTEND HORIZONTAL REBAR 2'-0" BEYOND JOINT. WATERPROOF EXTERIOR FACE OF JOINT.
- BEAM POCKETS IN CONCRETE WALLS SHALL HAVE A HEIGHT 2" DEEPER THAN BEAM, BE 1" 10 WIDER THAN THE BEAM WIDTH, AND PROVIDE A MINIMUM 4" BEAM BEARING LENGTH. SOLID GROUT OR SOLID STEEL SHIMS SHALL BE PLACED BELOW BEAM BEARINGS.
- INTERIOR CONCRETE SLABS SHALL BE 4" THICK, WITH 6 MIL VAPOR BARRIER OVER 4" 11 MINIMUM CRUSHED GRANULAR COMPACTED BASE. PLACE CONTROL JOINTS IN INTERIOR SLABS AND EXTERIOR FLAT WORK AT 10' O.C. MAXIMUM EACH WAY WITH A MAXIMUM ASPECT RATIO OF 1.5:1. SLOPE TO DRAINS.

- 12. LIGHT BROOM FINISH AND ACRYLIC BASED CURING COMPOUND.
- 13. CUTTING WITHOUT RAVELING AT THE EDGES.
- ANCHOR BOLTS 7 INCHES IN CAST CONCRETE WALLS AND 13 INCHES IN GROUTED CONCRETE MASONRY CELLS.
- 15. 2'-0" BEYOND EDGES OF OPENINGS.
- 16 THE CONTRACTOR. (N.E.C. 250.50)

MECHANICAL FASTENERS

- 1. EXPANSION ANCHORS
- Α. PRIOR TO INSTALLATION.

ADHESIVE ANCHORS

- PRIOR TO INSTALLATION.
 - OF ADHESIVE.
 - EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS.
- 2. INSTALLATION.
 - RECOMMENDATIONS BEFORE INSTALLATION OF ADHESIVE.
 - В. EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS.
 - С. ANCHORS
- 3. EXCEEDED ON THE DATE OF INSTALLATION.
- 4.

STRUCTURAL STEEL

- EDITION.
- 2 THE SPAN.
- 3 INDICATED ON THE STRUCTURAL DRAWINGS.
- WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS D1.1:2002).
- 5. MATERIALS:
 - A. ROLLED SHAPES AND PLATES UNLESS NOTED: ASTM A-36 OR STRONGER.
 - B. ADJUSTABLE NON-TELESCOPING PIPE COLUMNS: ASTM A-513, 11 GAGE.
 - C. BOLTS: ASTM A307, 3/4" DIAMETER UNLESS NOTED. D. ANCHOR BOLTS:
 - **RESIDENTIAL STRUCTURAL NOTES**
 - 2. OTHER ANCHOR BOLTS: ASTM A36: 1/2" DIAMETER UNLESS NOTED.
 - E. STEEL COLUMNS REQUIRED TO BE SCHEDULE 40 MINIMUM.
 - F. FIELD WELDS: AWS E70xx, LOW HYDROGEN ELECTRODES

G. NON-SHRINK GROUT : ASTM C1107

- (i.e. RAMSET PINS) AT 16" ON CENTER. PRE-PUNCH TOP FLANGE FOR BOLT HOLES.
- AT CONCRETE BEARING. STEEL BEAMS SHALL BE SHIMMED WITH STEEL PLATES OR 7 NONSHRINK GROUT. ANCHOR TO WALL WITH TWO 1/2" DIAMETER ANCHOR BOLTS.

STEEL TROWEL FINISH FLOOR SLAB AND CURE USING "CURE AND SEAL" TYPE CURING COMPOUND MEETING FEDERAL SPECIFICATION TT-C-00800 VOC COMPLIANT, 30 % MINIMUM SOLIDS CONTENT. FOR EXTERIOR FLAT WORK APPLICATIONS EXPOSED TO SUNLIGHT USE

CONTROL JOINTS IN SLABS-ON-GRADE SHALL BE HAND TROWELED OR SAW CUT WITHIN 6 HOURS OF PLACING CONCRETE OR WHEN CONCRETE IS STRONG ENOUGH TO WITHSTAND

PROVIDE ½" DIAMETER HOT DIPPED GALVANIZED SILL PLATE ANCHOR BOLTS AT 32" O.C. MAXIMUM AND WITHIN 12" OF CORNERS UNLESS NOTED OTHERWISE ON DRAWINGS. EMBED

PROVIDE (2) #5 BARS 2" ABOVE ALL CONCRETE OPENINGS LESS THAN 5' WIDE. EXTEND BARS

THE NATIONAL ELECTRICAL CODE REQUIRES THAT THE BUILDING ELECTRICAL SYSTEM SHALL BE GROUNDED TO REINFORCING STEEL IN THE CONCRETE FOOTING. THE WORK ASSOCIATED WITH THIS REQUIREMENT AND THE METHOD USED SHALL BE COORDINATED BY

EXPANSION ANCHORS SHALL BE MANUFACTURED BY HILTI AND SHALL BE THE SIZE, AND EMBEDMENT INDICATED ON DRAWINGS. EXPANSION ANCHORS SHALL BE HLC SLEEVE ANCHORS WHEN EMBEDDED INTO MASONRY AND KWIK BOLT 3 WHEN EMBEDDED INTO CONCRETE, UNLESS OTHERWISE NOTED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA

ANCHORAGE TO CONCRETE: HILTI "HIT RE 500" EPOXY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA

HOLES MAY BE DIAMOND CORED OR DRILLED WITH CONVENTIONAL HAMMER DRILL HOLES SHALL BE BRUSHED AND BLOWN FREE OF ALL DELETERIOUS MATERIAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS BEFORE INSTALLATION

STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" STANDARD RODS. SIZE AND

ANCHORAGE TO SOLID GROUTED CONCRETE MASONRY UNITS: HILTI "HIT HY 150 MAX". SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO

DRILL HOLES WITH A CARBIDE TIPPED DRILL BIT AND CONVENTIONAL HAMMER DRILL. CORE DRILLING IS NOT ACCEPTABLE. HOLES TO BE BRUSHED AND BLOWN FREE OF ALL DELETERIOUS MATERIAL IN ACCORDANCE WITH MANUFACTURER'S

STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" RODS. SIZE AND

FOR TEMPERATURES BETWEEN 40° F AND -10° F, USE HILTI HIT-ICE ADHESIVE

CONTRACTOR SHALL VERIFY THAT THE SHELF LIFE OF THE ADHESIVE HAS NOT BEEN

FOR CONNECTIONS TO EXISTING REINFORCED CONCRETE OR MASONRY, VERIFY THE LOCATIONS OF THE EXISTING REINFORCING BARS USING A REBAR DETECTOR, PRIOR TO DRILLING. NOTIFY THE ENGINEER PRIOR TO INSTALLATION IF ANCHOR LOCATIONS CONFLICT WITH EXISTING REINFORCING BARS. DO NOT DRILL THROUGH EXISTING REINFORCING BARS.

ALL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO AISC SPECIFICATIONS FOR "DESIGN. FABRICATION. AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST

FABRICATOR IS RESPONSIBLE FOR DESIGN OF CONNECTIONS. UNLESS SPECIFIC END MOMENTS AND REACTIONS ARE INDICATED ON DRAWINGS, DESIGN AND FABRICATE CONNECTIONS TO RESIST THE MAXIMUM UNIFORM LOAD CAPACITY OF THE MEMBER FOR

FIELD CONNECTIONS SHALL BE BOLTED EXCEPT WHERE WELDED CONNECTIONS ARE

1. ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS: SEE WOOD SECTION OF

PROVIDE A 2X WOOD PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 2'-0" O.C. OR 3/16" DIAMETER POWDER DRIVEN FASTENERS

<u>WOOD</u>

1. MATERIALS:

FRAMING LUMBER:

1. 2 x 8 AND LARGER: NO. 2 GRADE OR BETTER SOUTHERN PINE KILN DRIED.

2. 2 x 4 AND 2 x 6: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.

3. 4 x 4 AND 6 x 6: NO. 2 GRADE OR BETTER PRESSURE TREATED SOUTHERN PINE.

4. PRESSURE TREATED LUMBER: NO. 2 GRADE OR BETTER SOUTHERN PINE WITH ACQ (ALKALINE COPPER QUAT), CBA-A, CA-B (COPPER AZOLE), OR BORATE PRESSURE TREATED LUMBER (SILL PLATES ONLY): PRESSURE TREAT TO AWPA USE CATEGORY UC2 FOR SILL PLATES; UC3B FOR ABOVE GROUND EXTERIOR DECKING, STAIRS, RAILINGS, ETC.; AND UC4A FOR GROUND CONTACT.

B. SHEATHING & SUBFLOORING:

1. MATERIALS:

FLOOR SHEATHING: 23/32" STURD-I-FLOOR APA SPAN RATING 48/24 TONGUE & GROOVE SUBFLOOR EXPOSURE 1. ORIENTED STRAND BOARD IS NOT PERMITTED TO BE USED BELOW THINSET CERAMIC TILE OR MARBLE FLOOR FINISHES.

FLOOR SHEATHING: 23/32" ADVANTECH SPAN RATING 48/24 TONGUE & GROOVE SUBFLOOR MANUFACTURED BY HUBER ENGINEERED WOODS.

ROOF SHEATHING: 19/32" APA SPAN RATING 40/20 ROOF SHEATHING EXPOSURE 1. INSTALL PANEL CLIP THAT PRODUCES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/RAFTER SPACE ALONG UNSUPPORTED SHEATHING EDGES.

OR

ROOF SHEATHING: 1/2" ZIP SYSTEM ROOF SPAN RATING 40/20 MANUFACTURED BY HUBER ENGINEERED WOODS. INSTALL PANEL CLIP THAT CREATES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/RAFTER SPACE ALONG UNSUPPORTED SHEATHING EDGES.

- WALL SHEATHING: 7/16" APA SPAN RATING 24/16 WALL SHEATHING EXPOSURE C.
- CONNECTIONS: ALL SHEATHING SHALL BE NAILED TO WOOD FRAMING WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES, 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED **OTHERWISE**
- ADHESIVE FOR GLUED AND NAILED PLYWOOD SUBFLOORING: SHALL CONFORM TO PERFORMANCE SPECIFICATION AFG-01 DEVELOPED BY APA.
- LVL (LAMINATED VENEER LUMBER) BEAMS: DISTRIBUTED AS MICRO-LAM LVL, GANGLAM LVL AND TIMBER MAX LVL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LVL BEAMS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:
 - 1. Fb = 2600 PSI BENDING
 - 2. Fv = 285 PSI HORIZONTAL SHEAR
 - Fc⊥ = 750 PSI COMPRESSION PERPENDICULAR TO GRAIN
 - 4. E = 1,900,000 PSI MODULUS OF ELASTICITY OR

PSL (PARALLEL STRAND LUMBER) BEAMS AND COLUMNS: DISTRIBUTED AS PARALLAM. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PSL BEAMS AND COLUMNS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:

1. BEAMS: a. Fb = 2900 PSI BENDING

- b. Fv = 290 PSI HORIZONTAL SHEAR
- c. Fc = 2900 PSI COMPRESSION PARALLEL TO GRAIN
- Fc.1 = 650 PSI COMPRESSION PERPENDICULAR TO GRAIN
- e. E = 2,000,000 PSI MODULUS OF ELASTICITY

2. COLUMNS:

- a. Fb = 2400 PSI BENDING
- b. Fv = 190 PSI HORIZONTAL SHEAR
- Fc = 2500 PSI COMPRESSION PARALLEL TO GRAIN
- Fc⊥ = 425 PSI COMPRESSION PERPENDICULAR TO GRAIN
- e. E = 1,800,000 PSI MODULUS OF ELASTICITY
- PSL MEMBERS EXPOSED TO WEATHER OR HIGH MOISTURE SHALL BE CBA-A OR CA-B TREATED TO RETENTION LEVELS OF .20 LBS/FT³ w/ CBA-A OR .10 LBS/FT³ w/ CA-B FOR BEAMS AND .41 LBS/FT³ w/ CBA-A OR .21 LBS/FT³ w/ CA-B FOR COLUMNS. CONNECTORS FOR CBA-A OR CA-B TREATED BEAM MEMBERS SHALL BE HOT DIP GALVANIZED. CONNECTORS FOR CBA-A OR CA-B TREATED COLUMN MEMBERS SHALL BE STAINLESS STEEL TYPE 316.
- WOOD TRUSSES:

3

METAL PLATE CONNECTED WOOD TRUSSES SHALL BE FABRICATED BY A MANUFACTURER CERTIFIED UNDER THE TRUSS PLATE INSTITUTE NER-QA 430 QUALITY ASSURANCE PROGRAM.

- 2. ALL WORK TO CONFORM TO THE "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" (ANSI/TPI 1-2002) BY THE TRUSS PLATE INSTITUTE, INC.
- UNLESS NOTED OTHERWISE, ALL TRUSSES SHALL BE DESIGNED FOR THE LOADS AS SHOWN IN THE DESIGN LOAD SECTION OF THESE NOTES.
- SHOP DRAWINGS ARE REQUIRED AND SHALL BEAR THE DESIGNERS ENGINEERING SEAL FROM THE STATE THE PROJECT OCCURS. PER IRC 802.10, SHOP DRAWINGS SHALL INCLUDE ALL DESIGN AND FABRICATION DATA, TEMPORARY AND PERMENANT BRACING REQUIREMENTS (CLEARLY SHOWING PERMANENT BRACING REQUIREMENTS FOR WEB COMPRESSION AND BOTTOM CHORD MEMBERS), HANDLING AND ERECTION INSTRUCTIONS, ALL FIELDCONNECTION REQUIREMENTS, AND AN ERECTION PLAN LOCATING ALL TRUSSES. WOOD TRUSSES SHALL NOT BE FABRICATED UNTIL SHOP DRAWINGS ARE APPROVED BY ARCHITECT/ENGINEER.
- LAP SPLICE PERMANENT TRUSS BRACING A MINIMUM OF ONE TRUSS SPACE.
- FABRICATOR SHALL DESIGN ALL TRUSS TO TRUSS AND/OR TRUSS TO BEAM CONNECTIONS AND SHALL SPECIFY THE PROPER SIZED HANGER ON THE SHOP DRAWINGS.
- ALL TRUSSES UNDER 60' LONG SHALL BE BRACED DURING ERECTION PER "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES", BCSI-B1 SUMMARY SHEET BY THE TRUSS PLATE INSTITUTE, UNLESS MORE STRICT BRACING IS REQUIRED BY THE TRUSS MANUFACTURER. TRUSSES OVER 60' LONG SHALL HAVE TEMPORARY BRACING DESIGNED BY A PROFESSIONAL ENGINEER WHO IS REGISTERED IN THE STATE THE

PROJECT OCCURS, AND SHALL HAVE DRAWINGS SUBMITTED, BEARING THE DESIGNER'S SEAL, SHOWING THE DETAILS OF THE TEMPORARY BRACING. THIS BRACING SHALL REMAIN AS PERMANENT BRACING. BRACING IN THE PLANE OF THE TOP CHORD MAY BE REMOVED WHEN THE TOP CHORD IS LATERALLY BRACED BY PLYWOOD SHEATHING.

- AT EXTERIOR GABLE ENDS:
 - PROVIDE 2 X 4 X 10' LONG HORIZONTAL BRACES PERPENDICULAR TO GABLE END WALL AT 4' ON CENTER. NAIL BRACES TO GABLE END AND TO TOP OF THE BOTTOM CHORDS OF EACH TRUSS WITH (2)-10d NAILS.
 - TOENAIL GABLE END TRUSS TO TOP PLATE OF STUD WALL WITH 10d TOENAILS AT 16" ON CENTER.
 - BRACE NAILING STUDS IN GABLE END TRUSS PER MANUFACTURER'S C. DRAWINGS.
- GABLE END TRUSSES SHALL NOT BE TALLER THAN 8'-9". GREATER THAN 8'-9" HIGH SHALL UTILIZE SLOPED STUD WALLS FOLLOWING THE PROFILE OF THE TRUSSES.

10. DESIGN WOOD TRUSSES TO BEAR ON THE EXTERIOR WALL UNLESS INDICATED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.

FASTENERS: 1. BOLTS:

G.

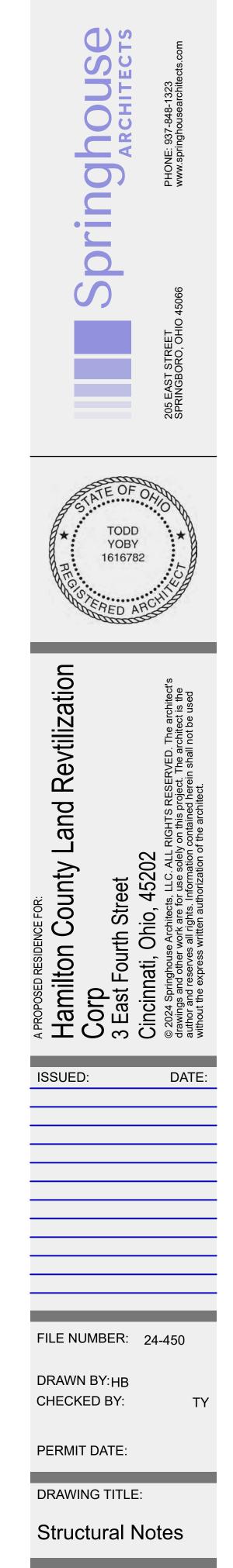
- ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS (WITH THE EXCEPTION OF BORATE TREATED): (1) STAINLESS STEEL TYPE 304 OR 316. -OR-(2) HOT DIP GALVANIZED PER ASTM A123: ASTM A36, ASTM A307, OR ASTM F1554 GRADE 36. OTHER BOLTS: ASTM A307. PROVIDE STANDARD CUT WASHER BETWEEN BOTH HEAD AND NUT TO WOOD CONNECTION. 2. NAILS: 8d COMMON= 0.131"" DIA, 2 ½"" LG. 10d COMMON= 0.148"" DIA, 3"" LG. 16d COMMON= 0.162"" DIA, 3 1/2"" LG 3. WOOD SCREWS: c. #8= 0.164"" DIA. d. #10= 0.19"" DIA. e. #12= 0.216"" DIA
- 4. LAG SCREWS:
- f. PROVIDE STANDARD WASHER BETWEEN HEAD TO WOOD CONNECTION. e. PREBORE HOLES PRIOR TO INSTALLATION.
- UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE MADE PER TABLE 602.3a(1), "FASTENING SCHEDULE FOR STRUCTURAL MEMBERS", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
- ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED. 3.
- AT BOLTED 2x LEDGERS, PROVIDE NO LESS THAN 2" CLR. FROM CENTER OF BOLT TO TOP AND BOTTOM OF LEDGER.
- ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.
- SIMPSON CONNECTORS USED IN ALL APPLICATIONS WITH ACQ-C, ACQ-D, CBA-A, OR CA-B, OR NON-DOT BORATE TREATED LUMBER SHALL BE ZMAX (G185) OR HOT DIPPED GALVANIZED. G60 AND G90 COATED PRODUCTS ARE NOT ALLOWED FOR APPLICATIONS WITH TREATED LUMBER. G90 CAN BE USED WITH BORATE TREATED LUMBER IN INTERIOR-DRY APPLICATIONS. ONLY USE GALVANIZED FASTENERS WITH ZMAX AND HOT DIP GALVANIZED CONNECTORS. AT OWNER''S OPTION, STAINLESS STEEL TYPE 304 OR TYPE 316L WITH STAINLESS STEEL FASTENERS CAN BE USED TO INCREASE LIFE EXPECTANCY OF THE CONNECTOR. STAINLESS STEEL CONNECTORS SHOULD BE USED FOR LUMBER WITH CHEMICAL RETENTION LEVELS GREATER THAN 0.40 PCF FOR ACQ, 0.41 PCF FOR CBA-A, OR 0.21 PCF FOR CA-B.
- FOR WOOD ROOF RAFTERS AND TRUSSES, INSTALL SIMPSON H2.5A HURRICANE TIE AT EACH MEMBER AT EACH BEARING LOCATION IN ADDITION TO THE TYPICAL NAILING REQUIREMENT IN THE ""FASTENING SCHEDULE"". 8. BRIDGING IN ALL FLOOR AND CEILING JOISTS SHALL BE 1" X 3" CROSS BRIDGING (DOUBLE NAILED) AT 8'-0" O.C. MAXIMUM. STEEL CROSS BRIDGING IS AN ACCEPTABLE ALTERNATE.

AT FIRST FLOOR JOISTS THAT ARE PARALLEL TO THE BASEMENT FOUNDATION WALL. PROVIDE FULL DEPTH SOLID BLOCKING AT ANCHOR BOLT SPACING BETWEEN THE RIM JOIST AND THE FIRST (2) INTERIOR JOIST SPACES. NAIL SHEATHING TO EACH BLOCK WITH FOUR 10d NAILS.

- 10. WALL STUDS SHALL LINE UP WITH FLOOR JOISTS OF FLOORS ABOVE AND BELOW.
- PROVIDE DOUBLE RIM JOIST WHERE FRAMING RUNS PARALLEL TO FOUNDATION OR 11 STUD WALL.
- 12. PROVIDE A STUD AT ALL TOP PLATE SPLICE LOCATIONS.
- PROVIDE DOUBLE JOISTS IN FLOOR CONSTRUCTION BELOW ALL INTERIOR 13. PARTITIONS THAT RUN PARALLEL WITH THE JOISTS (SPREAD JOISTS AS NECESSARY TO ACCOMMODATE PLUMBING).
- 14. FOR BUILT UP FREE STANDING COLUMNS, USE THE FOLLOWING NAILING PATTERNS: (2) 2X410d NAILS AT 6"" O.C. STAGGERED FRONT TO BACK, SET NAILS 1"" FROM EDGE; (3) 2X4-30d NAILS AT 8"" O.C. STAGGERED FRONT TO BACK, SET NAILS 1 1/2"" FROM EDGE; (3) 2X6- TWO ROWS OF 30d NAILS AT 8" O.C. STAGGERED SIDE TO SIDE AND FRONT TO BACK, SET NAILS 11/2"" FROM EDGE.
- NOTCHES IN EXTERIOR WALL OR INTERIOR BEARING WALL STUDS ARE NOT TO 15 EXCEED ONEFOURTH OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 40% OF THE STUD WIDTH OR WITHIN 5/8" OF STUD EDGE.
- NOTCHES IN FLOOR JOISTS AND ROOF RAFTERS SHALL NOT BE LOCATED IN THE 16 MIDDLE ONE-THIRD OF THE SPAN. DEPTH OF NOTCHES IN THE TOP OR BOTTOM OF THE MEMBER ARE NOT TO EXCEED ONE-SIXTH OF THE MEMBER DEPTH, AND LENGTH SHALL NOT EXCEED ONETHIRD OF MEMBER DEPTH. HOLES SHALL NOT BE BORED LARGER THAN ONE-THIRD OF THE MEMBER DEPTH, OR WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE MEMBER, OR WITHIN TWO FEET OF BEARING. NO HOLES OR NOTCHES ARE ALLOWED IN BEAMS UNLESS APPROVED BY ARCHITECT/ENGINEER.
- 17 WHERE CONCENTRATED LOADS FROM BEAMS, GIRDER TRUSSES, ETC. BEAR ON STUD WALLS, PROVIDE THE NUMBER OF STUDS NECESSARY TO SUPPORT THE FULL WIDTH OF THE BEARING MEMBER, UNLESS NOTED OTHERWISE. THE REQUIRED NUMBER OF SUPPORTING STUDS SHALL CONTINUE FOR THE FULL HEIGHT OF WALL BELOW THE CONCENTRATED LOAD, WITH CONTINUOUS BLOCKING THRU FLOOR FRAMING AT EACH FLOOR LEVEL, DOWN TO SOLID BEARING ON FOUNDATION WALL SILL PLATE OR

INTERIOR STEEL OR WOOD BEAM.

- MINIMUM BEARING STUD & FULL HEIGHT STUD REQUIREMENTS FOR SUPPORT OF 18 HEADERS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS:
 - HEADER SPAN 6"-0"" OR LESS: MINIMUM (1) 2x BEARING STUD NAILED TO (1) Α. FULL HEIGHT STUD WITH 10d NAILS AT 24"" O.C.
 - HEADER SPAN GREATER THAN 6"-0"": MINIMUM (2) 2x BEARING STUDS NAILED TO (1) FULL HEIGHT STUD WITH 10d NAILS AT 24³⁹ O.C., UNLESS OTHERWISE.
- 19. ALL MULTIPLE HEADERS AND BEAMS WITH DEPTH LESS THAN 14 INCHES SHALL BE FASTENED TOGETHER WITH MINIMUM (3) ROWS OF 10d COMMON NAILS AT 12" O.C., STAGGERED ON OPPOSITE SIDES. FOR DEPTHS EQUAL TO OR GREATER THAN 14 INCHES, FASTEN TOGETHER WITH (4) ROWS OF 10d NAILS AT 12""O.C. FOR FOUR OR MORE PLY BEAMS, THRU-BOLT WITH 1/2" DIAMETER BOLTS AT 12" O.C. STAGGERED TOP AND BOTTOM. ALL SIDE LOADED BEAMS SHALL BE THRU-BOLTED.
- 20. SHEATH ALL EXTERIOR WALLS WITH APA RATED WALL SHEATHING.





GENERAL NOTES

1) - EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETED 2) - NO SMOKING ALLOWED IN BUILDING AT ANY TIME.

3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY TI COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ONSITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MA NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.

4) - ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOF OVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALL 5) - CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MU ÚSE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.

6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.

7) - CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.

8) - ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S RERESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

9) - FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY ÓWNER WALK THROUGHS.

10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AN ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS' AND SUBCONTRACTORS'RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK

INTERIOR FRAMING GENERAL NOTES

1) - FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.

2) - STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.

3) - PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.

4) - IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 12"

5) - INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

1) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.

2) - ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.

3) - SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION. 4) - PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

PER RCO 314.3 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL. B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM. C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO

PER RCO 315.1

314.3

A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM. 5) EGRESS WINDOW REQUIREMENTS OPENING > 5.7 SQ FT

OPENING WIDITH > 24" OPENING HEIGHT > 20" MAX DISTANCE FROM THE FLOOR: 44"

6) SAFTEY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.

- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.

- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANES GREATER THAN 9 SF.

Window Schedule ID Unit Dimensions Operation Remarks Tempered W-01 3'-0"×5'-0" Double Hung W-02 2'-8"×4'-0" Double Hung W-03 2'-0"×3'-0" Double Hung W-04 3'-0"×5'-0" Double Hung

408.3 UNVENTED CRAWL SPACE

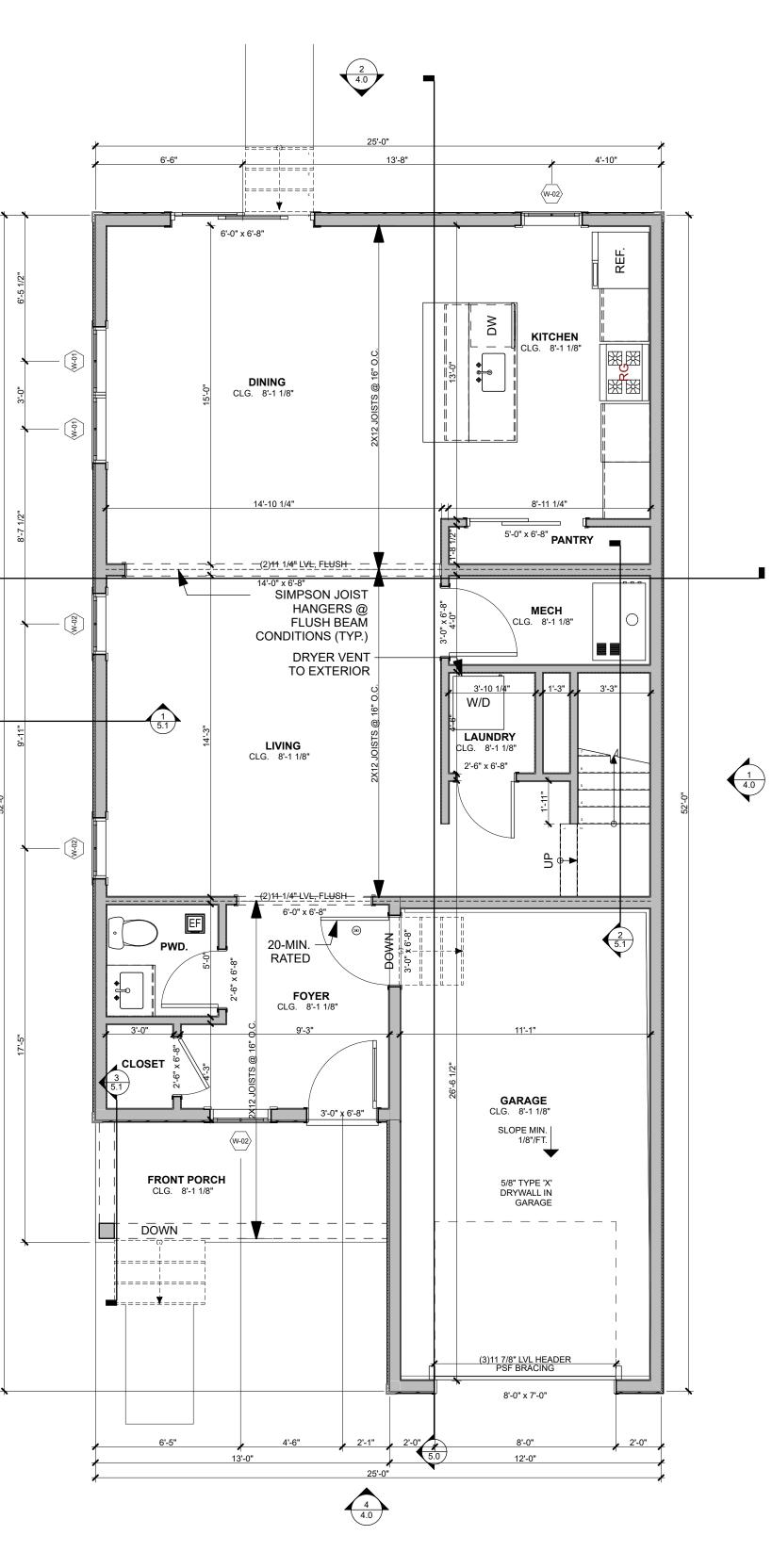
FORCED AIR REGISTER TO DELIVER SUPPLY AIR FROM FURNACE OR AIR HANDLER TO CRAWL SPACE @ MIN. 1 CFM/MIN PER 50 SF OF UNDER-FLOOR AREA INCLUDING RETURN AIR PATHWAY

FOUNDATION NOTES

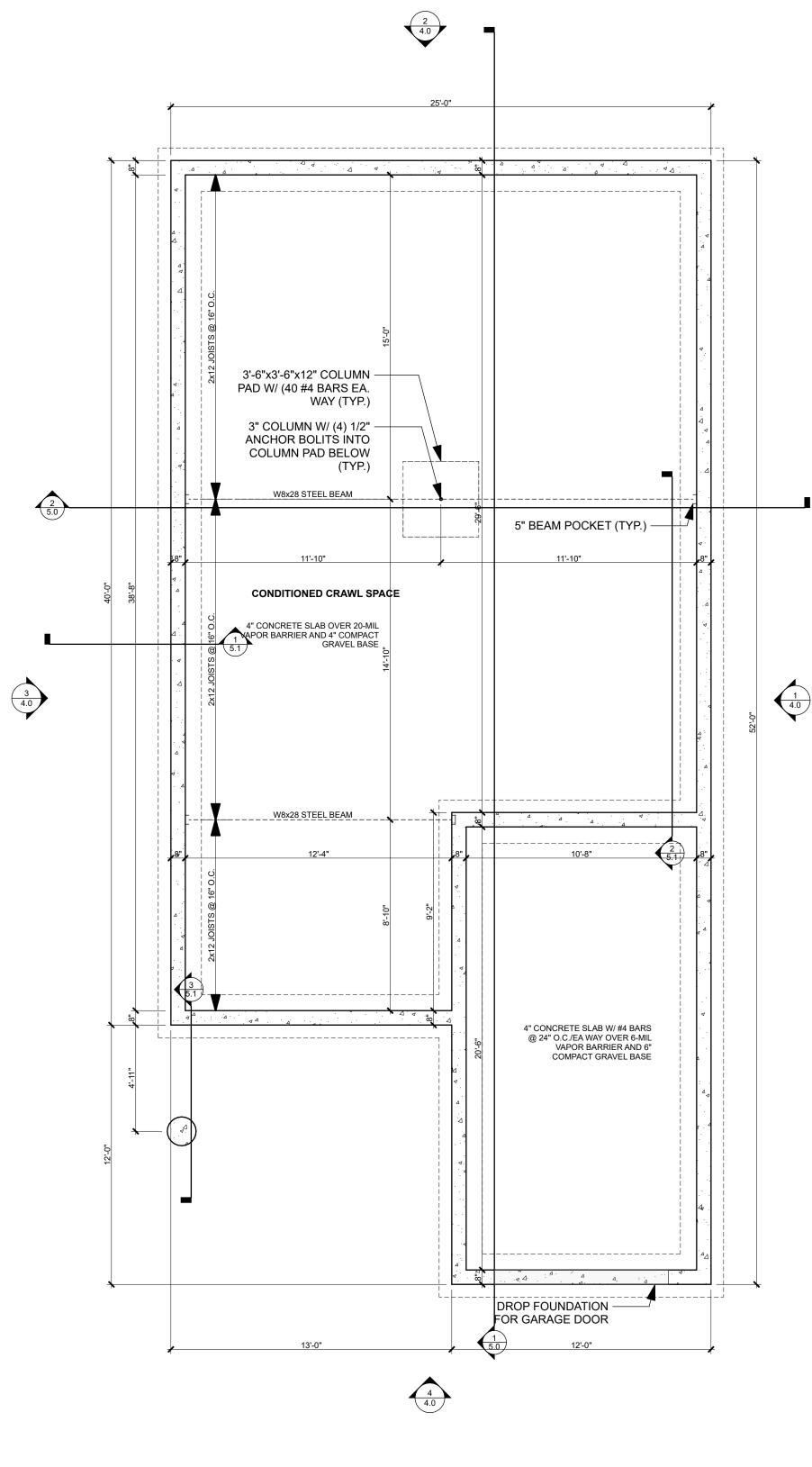
1. FOUNDATION SYSTEM DESIGN IS BASED ON A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3,000 PSI IN THE FOOTINGS. IF A LOWER STRENGTH CONCRETE WILL BE USED, NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION, SO THAT THE REINFORCING STEEL SIZE AND/OR SPACING CAN BE ADJUSTED TO SUIT THE CONCRETE STRENGTH.

2. FOOTING DESIGNS ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF MINIMUM.

3. CONTINUOUS FOOTING TO BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL DESIGNED BY CIVIL ENGINEER AND TESTED BY GEO-TECHNICAL ENGINEER. IT IS CONTRACTOR'S RESPONSIBILITY TO OVERSEE AND ENSURE ALL BEARING LOCATIONS MEET THESE REQUIREMENTS. ANY CHANGES MADE IN THE FIELD SHOULD BE CONSULTED WITH THE ARCHITECT.







WALL BRACING

WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED/ ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W.S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS w/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 8D COMMON NAILS (0.131" x 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWING. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

Foundation Plan

SCALE: 1/4" = 1'-0"

Area Schedule)
LEVEL	Area (SF)
FIRST FLOOR	892
GARAGE	220
SECOND FLOOR	883
	1,995 ft ²

0 2' 4'

ringhouse Architects	PHONE: 937-848-1323 www.springhousearchitects.com
	205 EAST STREET SPRINGBORO, OHIO 45066
TODD YOBY 1616782	
A PROPOSED RESIDENCE FOR: Hamilton County Land Revtilization Corp 3 East Fourth Street Cincinnati Ohio 45202	use Architects are vork are fo es all rights. I ss written auth
ISSUED:	DATE:
	4-450
DRAWN BY:HB CHECKED BY:	ΤY
PERMIT DATE: DRAWING TITLE: Foundation & Floor Plans	& First

WALL BRACING

WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED/ ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W.S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS w/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 8D COMMON NAILS (0.131" x 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWING. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

GENERAL NOTES

1) - EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETED 2) - NO SMOKING ALLOWED IN BUILDING AT ANY TIME.

3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY TI COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ONSITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MA NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.

4) - ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOF OVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALL 5) - CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MU ÚSE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.

6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.

7) - CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.

8) - ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S RERESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

9) - FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY ÓWNER WALK THROUGHS.

10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AN ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS' AND SUBCONTRACTORS'RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

1) - FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.

2) - STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.

3) - PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.

4) - IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 12"

5) - INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

1) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.

2) - ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.

3) - SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION. 4) - PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

PER RCO 314.3 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL. B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM. C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO

PER RCO 315.1

314.3

A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS OR IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM. 5) EGRESS WINDOW REQUIREMENTS OPENING > 5.7 SQ FT

OPENING WIDITH > 24" OPENING HEIGHT > 20" MAX DISTANCE FROM THE FLOOR: 44"

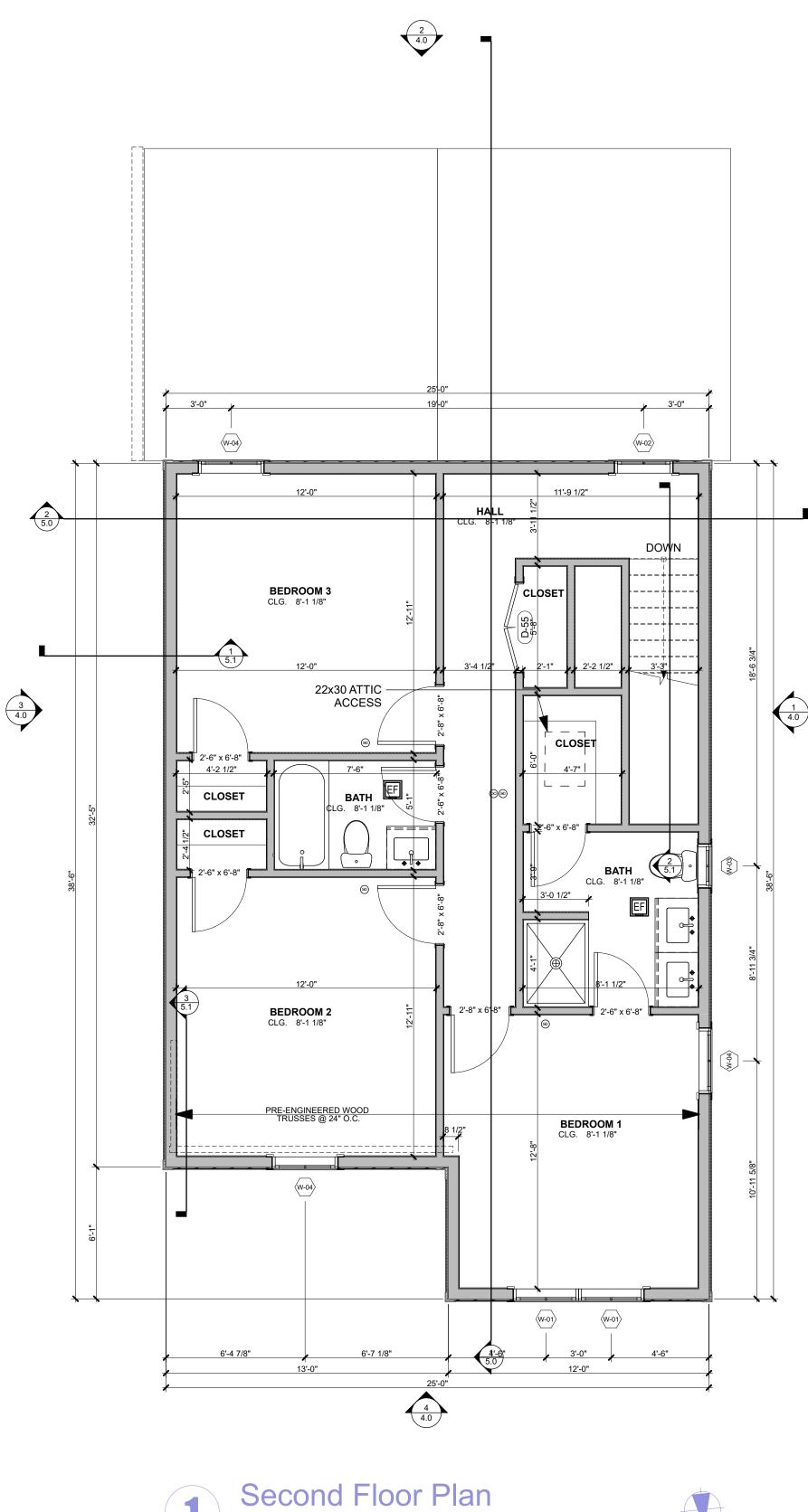
6) SAFTEY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.

- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.

- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANES GREATER THAN 9 SF.

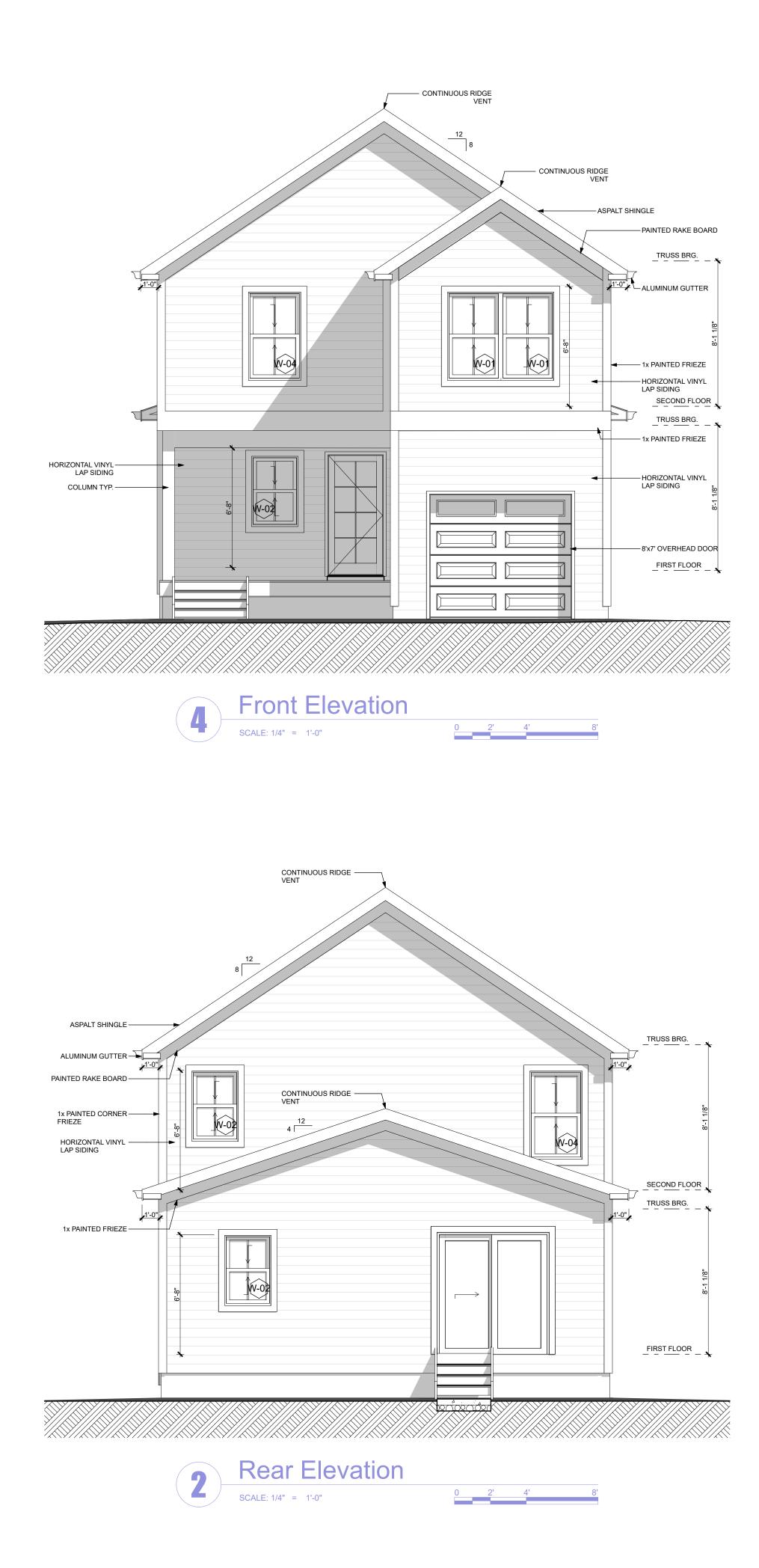
Window Schedule					
ID	Unit Dimensions	Operation	Tempered	Remarks	
W-01	3'-0"×5'-0"	Double Hung			
W-02	2'-8"×4'-0"	Double Hung			
W-03	2'-0"×3'-0"	Double Hung			
W-04	3'-0"×5'-0"	Double Hung			





Area Schedule	
LEVEL	Area (SF)
FIRST FLOOR	892
GARAGE	220
SECOND FLOOR	883
	1,995 ft ²

Springhouse Architects	205 EAST STREET SPRINGBORO, OHIO 45066 PHONE: 937-848-1323 www.springhousearchitects.com
TODD YOBY 1616782	
A PROPOSED RESIDENCE FOR: Hamilton County Land Revtilization Corp 3 East Fourth Street Cincinnati, Ohio, 45202	© 2024 Springhouse Architects, LLC. ALL RIGHTS RESERVED. The architect's drawings and other work are for use solely on this project. The architect is the author and reserves all rights. Information contained herein shall not be used without the express written authorization of the architect.
	DATE:
FILE NUMBER: 24 DRAWN BY:HB CHECKED BY: PERMIT DATE: DRAWING TITLE:	-450 TY
Second Floor	[.] Plan









CONTINUOUS RIDGE

		*	VENT
	NV-04		
		동물	
	N N		

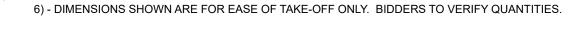


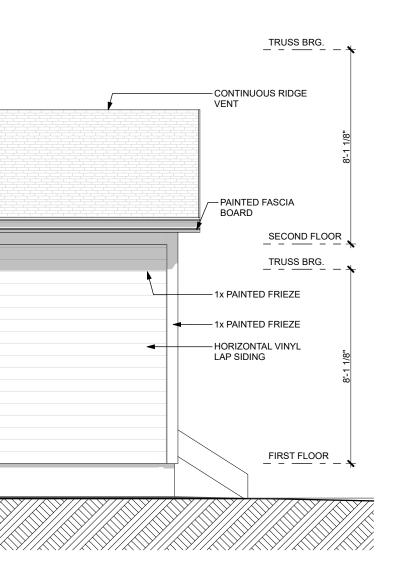
1 Right Elevation SCALE: 1/4" = 1'-0"



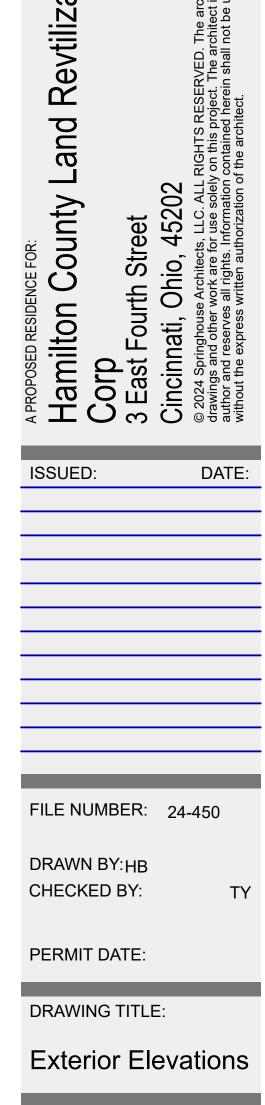
Exterior Elevation General Notes

1) - VERIFY IN FIELD ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. 2) - ALL METAL COPING, METAL FASCIA, METAL FLASHING, ROOF ACCESSORIES, LOUVERS, SHALL BE PREFINISHED UNLESS NOTED OTHERWISE. 3) - REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO FINISH PAVEMENT AND FINISH GRADE ELEVATIONS. 4) - ELEVATIONS MAY NOT SHOW ALL MECHANICAL / ELECTRICAL / PLUMBING / ETC. ROOF TOP EQUIPMENT AND THROUGH-WALL PENETRATIONS. REFER TO AND COORDINATE WITH MECHANICAL / ELECTRICAL / PLUMBING / ETC. FOR SUCH EQUIPMENT AND PENETRATIONS 5) - REFER TO WALL SECTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIAL, ETC.

















Building Sections

DRAWING TITLE:

PERMIT DATE:

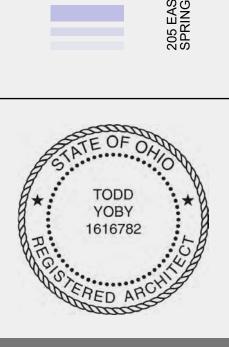
DRAWN BY:HB CHECKED BY:

ΤY

FILE NUMBER: 24-450

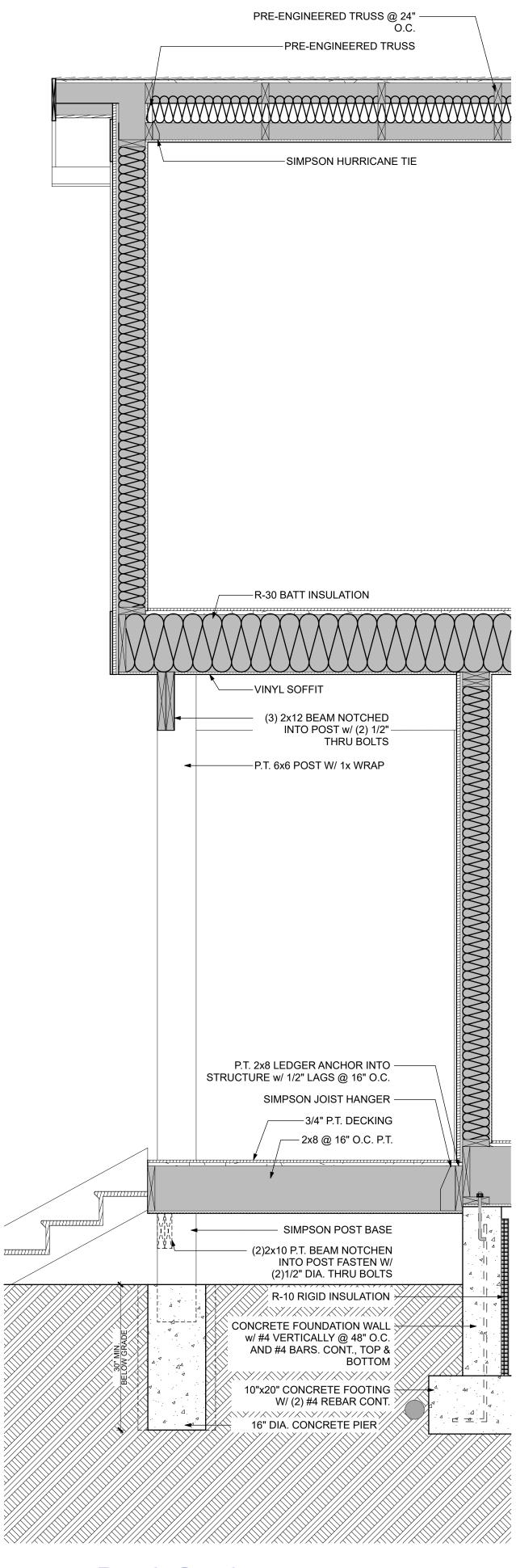
A PROPOSED RESIDENCE FOR: Hamilton County I Corp 3 East Fourth Street Cincinnati, Ohio, 45202 © 2024 Springhouse Architects, LLC. ALL drawings and other work are for use solely author and reserves all rights. Information without the express written authorization o ISSUED: DATE:

Land Revtilization RESERVED. The architect roject. The architect is the herein shall not be used



205 EAST STREET SPRINGBORO, OF

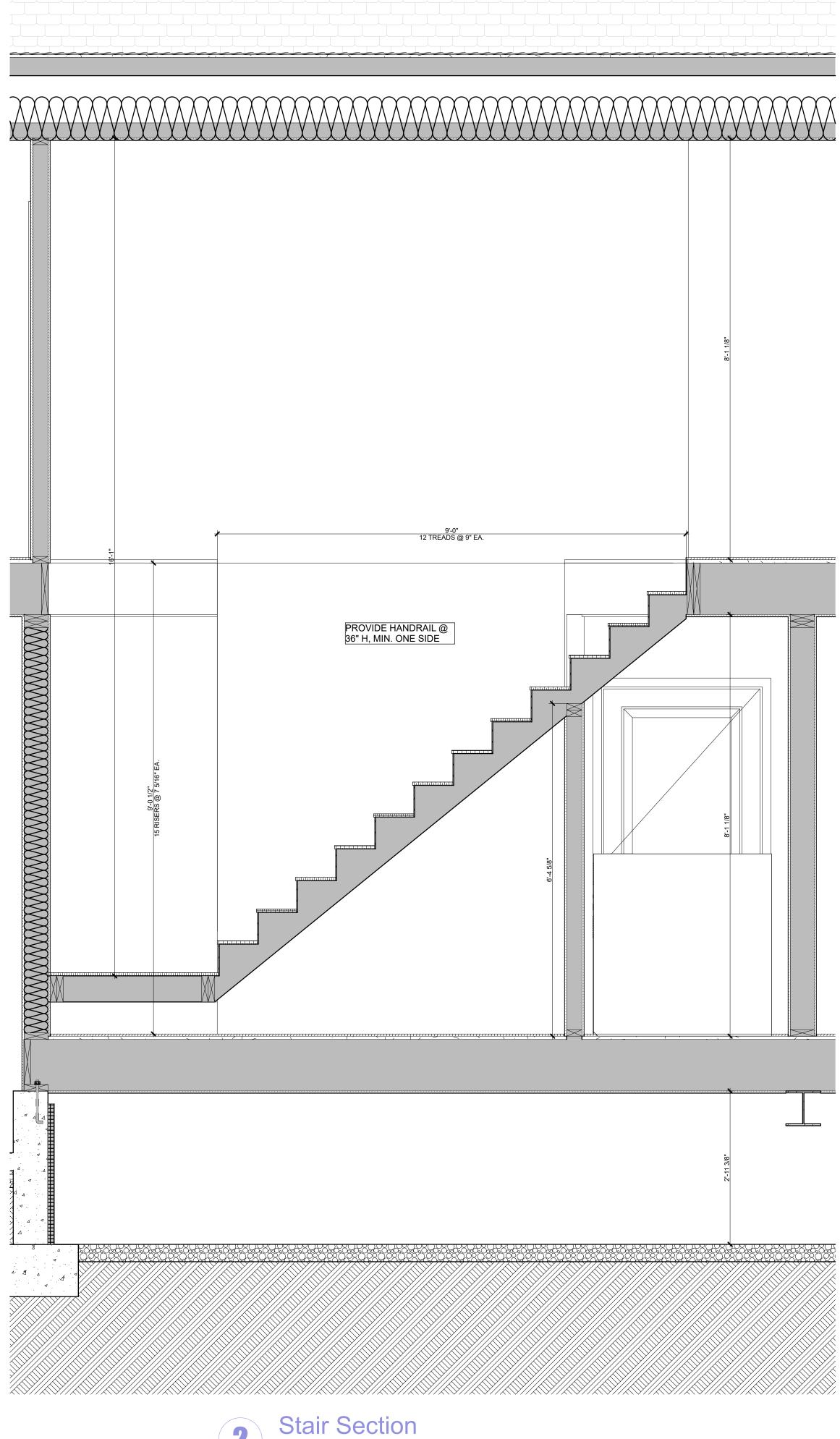
Springhouse Architects





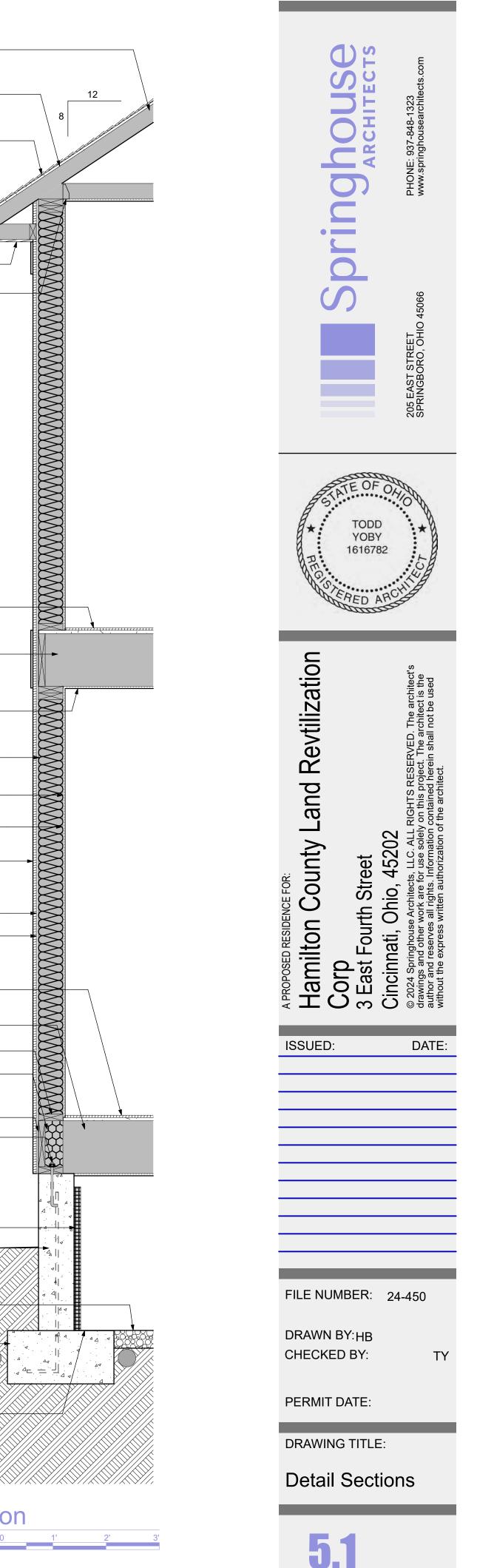
Porch Section SCALE: 3/4" = 1'-0"

0 1' 2' 3



 Stair Section

 SCALE: 3/4" = 1'-0"



PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. CONT. ICE GAURD BARRIER TO EXTEND MIN. 4'-0" ALONG EAVES AND VALLEYS DIMENSIONAL SHINGLES OVER -MIN. 15 LB FELT & 2/2" SHEATHING W/ H-CLIPS PRE-FINISHED ALUM. GUTTER

> 1x8 FASCIA OVER 2x6 SUBFASCIA 3/8" VENTED SOFFIT PANEL

SIMPSON 2.5A HURRICANE TIE @ EA. TRUSS

3/4" T&G PLYWOOD SHEATHING

2x12 JOISTS @ 16" O.C.

1/2" DRYWALL

2x6 STUD WALL w/ **R-19 INSULATION**

1/2" DRYWALL

VAPOR BARRIER

VINYL SIDING -MOISTURE BARRIER

7/16" OSB SHEATHING

3/4" T&G PLYWOOD -SHEATHING

2x12 JOISTS @ 16" O.C.-2x6 BASE PLATE — R-30 SPRAY FOAM -

INSULATION @ RIM JOIST 2x12 RIM JOIST P.T.

1/2" DIA. ANCHOR BOLTS @ 36" O.C. AND MIN. 1' FROM CORNERS. 7" MIN. EMBEDMENT

SLOPE GRADE AWAY FROM BUILDING

R-10 RIGID INSULATION

GRAVEL BASE

CONCRETE FOUNDATION WALL w/ #4 VERTICALLY @ 48" O.C. AND #4 BARS. CONT., TOP & BOTTOM $\forall / / \land \forall / / \land \forall / / \land \lor$ MIN. 4" COMPACTED

 $\langle \rangle \rangle / / \rangle$ W/ (2) #4 REBAR CONT. 10"x20" CONCRETE FOOTING 2

4" DRAIN TILE IN WASHED GRAVEL FILL 20-MIL POOL LINER OR TU-TUF POLY EXTEND IT UP THE CRAWLSPACE WALLS W/ 3 IN. UNCOVERED AT THE TOP TP CREATE A TERMITE-

INSPECTION STRIP.

Typical Wall Section SCALE: 3/4" = 1'-0"



Sheri Scott Springhouse Architects 205 East Street Springboro, OH 45066 sheri@springhousearchitects.com www.springhousearchitects.com



Energy Efficiency Compliance

1.) METHOD: RCO 2019 - RCO PRESCRIPTIVE METHOD, SEE MIN. VALUES BELOW

U FACTOR = .32

U FACTOR = .55

R-VALUE = 30 MIN

R-VALUE = 49 MIN

R-VALUE = 20 MIN

R-VALUE = 19 MIN

R-VALUE = 10 MIN

R-VALUE = 10R-VALUE = 10 MIN

U FACTOR = .3 U FACTOR = .35 MAX



OF 78*F

IF APPLICABLE NO ATTIC

NOTES

2x6 WOOD FRAMING R-13 POLY FACED 2' MIN DEPTH

CONTINUOUS R-VALUE = 8/6 MIN (<3") UNCOND. SPACES

2.) HIGH EFFICIENCY LAMPS TO BE PROVIDED IN MIN. 90% OF ALL LIGHTING FIXTURES 3.) PROGRAMMABLE THERMOSTAT TO BE PROVIDED AND INITIALLY SET FOR HEATING OF 70*F AND COOLING

Sheet Index

- C.0 Cover Sheet
- C.1 Structural Notes
- 2.0 Foundation & First Floor Plans
- 3.0 Second Floor Plan
- 4.0 Exterior Elevations
- 5.0 **Building Sections**
- 5.1 **Detail Sections**

Drawing Symbols



- Exhaust Fan
- Smoke Detector
- Carbon Monoxide Detector Floor Drain

Section/Elevation Marker



Material Tag Window Tag

Hose Bibb

General Notes

GOVERNING CODE - 2019 OHIO RESIDENTIAL CODE, ALL WORK SHALL CONFORM TO THIS CODE AND ALL OTHER LOCAL AND APPLICABLE CODES.

BIDDING INSTRUCTIONS: CONTRACTOR TO BID SCOPE OF WORK DEFINED HEREIN IN LINE-ITEM FORMAT. OWNER MAY ASK FOR ADDITIONAL BREAKDOWN OF BID PRIOR TO AWARD. REFER TO CONSTRUCTION DOCUMENT SHEETS FOR ADDITIONAL NOTES.

- DO NOT SCALE DRAWINGS 1.
- ALL BEDROOMS SHALL HAVE A MINIMUM OF ONE WINDOW THAT COMPLIES WITH LOCAL EGRESS REQUIREMENTS
- STRUCTURAL FRAMING MEMBER TO HAVE A MINIMUM FB. = 1275 PSI 3.
- ALL EXTERIOR BEARING WALL HEADERS TO BE (3) 2x10's

ALL EXTERIOR BEARING HEADERS LESS THAN 6'-0" SPAN REQ. 1 JACK 1 KING EACH SIDE ALL EXTERIOR BEARING HEADERS LMORE THAN 6'-0" SPAN REQ. 2 JACK 2 KING EACH SIDE

ALL INTERIOR BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x8's U.N.O. ALL INTERIOR BEARING HEADERS 4'-0" - 6'-0" SPAN TO BE (2) 2x10's U.N.O.

ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x4's U.N.O. ALL INTERIOR NON-BEARING HEADERS 4'-0" - 8'-0" SPAN TO BE (2) 2x6's U.N.O.

- DETAILS FOR ALL ENGINEERED LUMBER PRODUCTS, i.e. GLU-LAMS, MICRO-LAMS, TJI'S ROOF TRUSSES, ETC. TO BE FURNISHED BY MANUFACTURER.
- GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECTS OFFICE TRUSS DESIGN AND LAYOUT DRAWINGS IF DESIGN DEVIATES FROM ARCHITECTS CONSTRUCTION DOCUMENTS. SUBMIT DRAWINGS WITH DEVIATIONS NOTED FOR REVIEW AND COORDINATION PRIOR TO BEGINNING OF CONSTRUCTION AND TRUSS FABRICATION
- INSTALL SAFETY GLAZING IN LOCATIONS SPECIFIED BY LOCAL CODE.

CONTRACTOR TO PROVIDE "GRACE" ICE & WATER SHIELD AT ALL ROOF EAVES, PEAKS, VALLEYS & VERTICAL WALL INTERSECTIONS. SHEET SHALL EXTEND FROM EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. (RCO 905.2.7.1)

- SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATION AND INSTALLATION SPECIFICATIONS
- SEPARATE CIVIL ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE ADDITIONAL SITE 10 PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS. SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY GENERAL CONTRACTOR. 11
- 12. THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- 13. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD ANY DISCREPANCIES WILL BE 14 BROUGHT TO THE ATTENTION OF THE ARCHITECT. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL 15
- CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. IN FULL DEPTH MASONRY WALLS, EXPANSION JOINTS SHALL BE LOCATED IN FIELD BY MASON, MAX 16. DISTANCE 20'-"0 O.C. ON LONGER STRAIGHT CONTINUOUS WALLS.
- FLOOR SYSTEMS TO BE DESIGNED AT L/720 AT ALL TILE FLOOR LOCATION. COORDINATE WITH 17 ARCHITECT IF NOT CLEARLY INDICATED ON DRAWINGS.
- SMOKE ALARMS TO USE DUAL-TYPE DETECTION INCLUDING BOTH PHOTOELECTRIC AND IONIZATION 18. TECHNOLOGIES PER RCO SECTION 314.1.

Design Loads

- 1.) MIN. REQUIRED DESIGN LOADS: A.) FLOOR LIVE LOAD = 40 PSF; SNOW = 20 PSF B.) GARAGE FLOOR LIVE LOAD = 50 PSF C.) WIND LOAD = 115 MPH (3-SEC GUST) D.) SOIL BEARING CAPACITY = 1,500 PSF
- 2.) THE MAX ALLOWABLE LIVE LOAD DEFLECTION OR STRUCTURAL MEMBERS: A.) CONCRETE FLOORS = L/360 B.) WALLS W/ MASONRY VENEER = L/240
- C.) WALLS W/ SIDING = L/120 D.) ROOF TRUSSES (OR RAFTERS) = L/180 E.) ALL OTHER STRUCTURAL MEMBERS = L/240
- 3.) MIN. COMPRESSIVE STRENGTH OF CONCRETE:
- A.) FOOTING/PIERS = 3,500 PSI B.) FOUNDATION WALLS = 3,500 PSI GARAGE FLOORS = 4,000 PSI

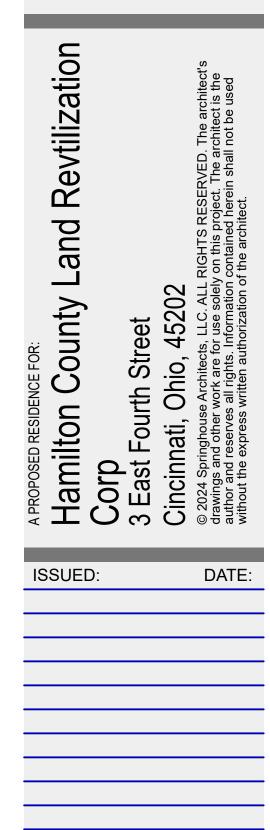
EXTERIOR WALKS & LANDINGS = 4,500 PSI

ALL CONCRETE EXPOSED TO WEATHER OR SUBJECT TO FREEZING OR THAWING DURING CONSTRUCTION SHALL HAVE AIR ENTRAINMENT BETWEEN 5-7%.

4.) ALL RAFTERS, RIDGE BOARDS, RIDGE BEAMS, HEADERS, & CEILING JOISTS (OR CROSS TIES) SHALL BE MIN. NO. 2 GRADE SO. YELLOW PINE. ALL EXTERIOR WALL STUDS SHALL BE MIN. STUD GRADE SPF. 5.) ALL LUMBER IN DIRECT CONTACT WITH CONCRETE, MASONRY, OR IN PROXIMITY TO EXPOSED GROUND SHALL BE PRESSURE TREATED FOR EXTERIOR USE. ALL LUMBER IN DIRECT CONTACT WITH THE GROUND SUPPORTING DECK TO BE PRESSURE TREATED FOR GROUND CONTACT USE. 6.) ALL STRUCTURAL MEMBERS SHALL BE FULL LENGTH (NO SPLICES) OR SPLICES SHALL BE APPROVED & OCCUR AT ADEQUATE STRUCTURAL BEARING. 7.) ALL STRUCTURAL BOLTS SHALL BE A MIN 1/2" DIAM., CORROSION-RESISTANT, AND SHALL BE COMPATIBLE WITH THE SPECIFIC TYPE OF PRESSURE TREATED LUMBER BEING USED. 8.) ALL PRE-ENGINEERED STRUCTURAL WOOD CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & INSTALLATION INSTRUCTIONS (INCLUDING PROPER FASTENER TYPE AND SIZE).

9.) WOOD HEADERS WITH CLEAR SPANS OVER 6FT REQUIRE A MINIMUM (2) JACK STUDS & (1) KING STUD EACH SIDE.







DRAWN BY: HB CHECKED BY:

ΤY

PERMIT DATE:

DRAWING TITLE:

Cover Sheet





I ARCHITECTS

bu

•

0

S



RESIDENTIAL STRUCTURAL NOTES

FOUNDATIONS

- FOUNDATION ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES AND MAY VARY TO SUIT SUBSURFACE SOIL CONDITION. ELEVATION AND BEARING STRATA SHALL BE APPROVED PRIOR TO PLACING CONCRETE.
- ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL. DESIGN ALLOWABLE SOIL BEARING PRESSURE BELOW FOOTINGS = 1500 PSF.
- ALL FOOTINGS SHALL BE CONTINUOUS. SHALLOW FOOTINGS AT CRAWL SPACES AND OTHER STEPPED FOOTINGS SHALL STEP DOWN TO THE ELEVATION OF BASEMENT FOOTINGS AT A RATIO OF 2 FEET VERTICAL TO 4 FEET HORIZONTAL.
- THE FOLLOWING LATERAL SOIL PRESSURE PARAMETERS HAVE BEEN ASSUMED FOR THE **DESIGN OF FOUNDATIONS:**
- A. BASEMENT WALLS: 45 PCF EQUIVALENT FLUID PRESSURE, TRIANGULAR DISTRIBUTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND
- SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
- BACKFILL ALONG EXTERIOR FACE OF ALL PERIMETER FOOTINGS, AND ALONG EXTERIOR RETAINING TYPE WALLS SHALL BE A WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY UP TO WITHIN 12 INCHES OF THE FINISHED GRADE. TOP 12" OF BACKFILL SHALL BE COMPACTED CLAYEY MATERIAL. AT THE BOTTOM OF THE GRANULAR MATERIAL, PLACE A 4" DIAMETER SCHD. 35 PVC (MIN.) PERFORATED FOUNDATION DRAIN PIPE WITH POSITIVE DRAINAGE TO SUMP OR TO DAYLIGHT.
- APPLIED TECHNOLOGIES "HYDRA-GUARD" WATERPROOFING SYSTEM (OR RUB-R-WALL WATERPROOFING MEMBRANE SYSTEM) PLUS PROTECTION BOARD SHALL BE APPLIED ON ALL BASEMENT FOUNDATION WALLS AND FOOTINGS BELOW GRADE.
- CRAWL SPACES SHALL HAVE 6" OF PEA GRAVEL INSTALLED OVER 6 MIL VAPOR BARRIER.
- FINISHED GRADE SHALL SLOPE 6" IN THE FIRST 10' MINIMUM AWAY FROM THE PERIMETER FOUNDATION.

CONCRETE

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-99, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW, AND THE RECOMMENDED PRACTICE FOR **RESIDENTIAL CONCRETE CONSTRUCTION ACI-332R-84.**

2. MATERIALS:

- CONCRETE FOR INTERIOR SLAB ON GRADE: fc = 3500 PSI., NORMAL AGGREGATE.
- CONCRETE FOR EXTERIOR FLAT WORK, WALKS, GARAGE SLABS, ETC.: fc = 4500 PSI, (4.5% TO 7.5% ENTRAINED AIR). MINIMUM CEMENT CONTENT = 520 #/CY, MAXIMUM WATER / CEMENTITIOUS RATIO = 0.45. LIMIT POZZOLAN CONTENT PER ACI 301-99 TABLE 4.2.2.8.
- CONCRETE FOR FOUNDATION WALLS: fc = 3500 PSI, (5% TO 7% ENTRAINED AIR). С. MAXIMUM WATER / CEMENTITIOUS RATIO = 0.50.
- CONCRETE FOR FOOTINGS: f'c = 3000 PSI. D.

REINFORCING STEEL: ASTM A615 60 KSI YIELD DEFORMED BARS AND ASTM A185 MESH (SHEETS ONLY).

- ADMIXTURES: ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.
- IF CONCRETE ARRIVES AT THE SITE WITH A SLUMP BELOW THE SPECIFIED SLUMP AND IS 3 UNSUITABLE FOR PLACING AT THAT SLUMP, THE SLUMP MAY BE ADJUSTED ONCE ONLY BY ADDING WATER UP TO THE AMOUNT ALLOWED IN THE ACCEPTED MIXTURE PROPORTIONS. ADDITION OF WATER SHALL BE IN ACCORDANCE WITH ASTM C94. DO NOT EXCEED THE SPECIFIED WATER-CEMENTITIOUS MATERIAL RATIO OR SLUMP IN THE APPROVED MIX DESIGN. DO NOT ADD WATER TO CONCRETE DELIVERED IN EQUIPMENT NOT ACCEPTABLE FOR MIXING.
- WHEN THE AIR TEMPERATURE IS LESS THAN 40° F, THE TEMPERATURE OF THE CONCRETE SHALL BE MAINTAINED BETWEEN 50° AND 70°F FOR 7 DAYS.
- DURING HOT WEATHER, WHEN NECESSARY, PROVIDE FOR PROTECTIVE MEASURES IN ADVANCE OF PLACEMENT.
- AT CORNERS AND INTERSECTIONS OF WALLS AND GRADE BEAMS, PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNER AND/OR INTO ABUTTING WALL OR GRADE BEAM. BARS SHALL HAVE EMBEDMENT OF 30 DIAMETERS (18" MIN.).
- LAP SPLICE REINFORCING BARS AS FOLLOWS. LAP WELDED WIRE FABRIC MESH 12".

Horizontal bars with more than 12" of concrete below	All other Bars						
#3	23"	# 6	47"	#3	18"	#6	35"
#4	31"	#7	54"	#4	25"	#7	44"
#5	39"	#8	62"	#5	31"	#8	50"

- AT SLAB AND WALL OPENING CORNERS AND REENTRANT CORNERS, PROVIDE (1) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST EDGE OF OPENING. THIS STEEL MAY BE OMITTED IF TYPICAL SLAB OR WALL STEEL EXCEEDS THIS MINIMUM REQUIREMENT.
- ALL CAST-IN-PLACE CONCRETE WALLS SHALL BE PLACED CONTINUOUSLY WITH NO COLD JOINTS AND VIBRATED ADEQUATELY TO PREVENT AIR POCKETS. WHERE VERTICAL JOINT REQUIRED, CAST WALL FULL HEIGHT AND EXTEND HORIZONTAL REBAR 2'-0" BEYOND JOINT. WATERPROOF EXTERIOR FACE OF JOINT.
- BEAM POCKETS IN CONCRETE WALLS SHALL HAVE A HEIGHT 2" DEEPER THAN BEAM, BE 1" 10 WIDER THAN THE BEAM WIDTH, AND PROVIDE A MINIMUM 4" BEAM BEARING LENGTH. SOLID GROUT OR SOLID STEEL SHIMS SHALL BE PLACED BELOW BEAM BEARINGS.
- INTERIOR CONCRETE SLABS SHALL BE 4" THICK, WITH 6 MIL VAPOR BARRIER OVER 4" 11 MINIMUM CRUSHED GRANULAR COMPACTED BASE. PLACE CONTROL JOINTS IN INTERIOR SLABS AND EXTERIOR FLAT WORK AT 10' O.C. MAXIMUM EACH WAY WITH A MAXIMUM ASPECT RATIO OF 1.5:1. SLOPE TO DRAINS.

- 12. LIGHT BROOM FINISH AND ACRYLIC BASED CURING COMPOUND.
- 13. CUTTING WITHOUT RAVELING AT THE EDGES.
- ANCHOR BOLTS 7 INCHES IN CAST CONCRETE WALLS AND 13 INCHES IN GROUTED CONCRETE MASONRY CELLS.
- 15. 2'-0" BEYOND EDGES OF OPENINGS.
- 16 THE CONTRACTOR. (N.E.C. 250.50)

MECHANICAL FASTENERS

- 1. EXPANSION ANCHORS
- Α. PRIOR TO INSTALLATION.

ADHESIVE ANCHORS

- PRIOR TO INSTALLATION.
 - OF ADHESIVE.
 - EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS.
- 2. INSTALLATION.
 - RECOMMENDATIONS BEFORE INSTALLATION OF ADHESIVE.
 - В. EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS.
 - С. ANCHORS
- 3. EXCEEDED ON THE DATE OF INSTALLATION.
- 4.

STRUCTURAL STEEL

- EDITION.
- 2 THE SPAN.
- 3 INDICATED ON THE STRUCTURAL DRAWINGS.
- WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS D1.1:2002).
- 5. MATERIALS:
 - A. ROLLED SHAPES AND PLATES UNLESS NOTED: ASTM A-36 OR STRONGER.
 - B. ADJUSTABLE NON-TELESCOPING PIPE COLUMNS: ASTM A-513, 11 GAGE.
 - C. BOLTS: ASTM A307, 3/4" DIAMETER UNLESS NOTED. D. ANCHOR BOLTS:
 - **RESIDENTIAL STRUCTURAL NOTES**
 - 2. OTHER ANCHOR BOLTS: ASTM A36: 1/2" DIAMETER UNLESS NOTED.
 - E. STEEL COLUMNS REQUIRED TO BE SCHEDULE 40 MINIMUM.
 - F. FIELD WELDS: AWS E70xx, LOW HYDROGEN ELECTRODES

G. NON-SHRINK GROUT : ASTM C1107

- (i.e. RAMSET PINS) AT 16" ON CENTER. PRE-PUNCH TOP FLANGE FOR BOLT HOLES.
- AT CONCRETE BEARING. STEEL BEAMS SHALL BE SHIMMED WITH STEEL PLATES OR 7 NONSHRINK GROUT. ANCHOR TO WALL WITH TWO 1/2" DIAMETER ANCHOR BOLTS.

STEEL TROWEL FINISH FLOOR SLAB AND CURE USING "CURE AND SEAL" TYPE CURING COMPOUND MEETING FEDERAL SPECIFICATION TT-C-00800 VOC COMPLIANT, 30 % MINIMUM SOLIDS CONTENT. FOR EXTERIOR FLAT WORK APPLICATIONS EXPOSED TO SUNLIGHT USE

CONTROL JOINTS IN SLABS-ON-GRADE SHALL BE HAND TROWELED OR SAW CUT WITHIN 6 HOURS OF PLACING CONCRETE OR WHEN CONCRETE IS STRONG ENOUGH TO WITHSTAND

PROVIDE ½" DIAMETER HOT DIPPED GALVANIZED SILL PLATE ANCHOR BOLTS AT 32" O.C. MAXIMUM AND WITHIN 12" OF CORNERS UNLESS NOTED OTHERWISE ON DRAWINGS. EMBED

PROVIDE (2) #5 BARS 2" ABOVE ALL CONCRETE OPENINGS LESS THAN 5' WIDE. EXTEND BARS

THE NATIONAL ELECTRICAL CODE REQUIRES THAT THE BUILDING ELECTRICAL SYSTEM SHALL BE GROUNDED TO REINFORCING STEEL IN THE CONCRETE FOOTING. THE WORK ASSOCIATED WITH THIS REQUIREMENT AND THE METHOD USED SHALL BE COORDINATED BY

EXPANSION ANCHORS SHALL BE MANUFACTURED BY HILTI AND SHALL BE THE SIZE, AND EMBEDMENT INDICATED ON DRAWINGS. EXPANSION ANCHORS SHALL BE HLC SLEEVE ANCHORS WHEN EMBEDDED INTO MASONRY AND KWIK BOLT 3 WHEN EMBEDDED INTO CONCRETE, UNLESS OTHERWISE NOTED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA

ANCHORAGE TO CONCRETE: HILTI "HIT RE 500" EPOXY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA

HOLES MAY BE DIAMOND CORED OR DRILLED WITH CONVENTIONAL HAMMER DRILL HOLES SHALL BE BRUSHED AND BLOWN FREE OF ALL DELETERIOUS MATERIAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS BEFORE INSTALLATION

STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" STANDARD RODS. SIZE AND

ANCHORAGE TO SOLID GROUTED CONCRETE MASONRY UNITS: HILTI "HIT HY 150 MAX". SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO

DRILL HOLES WITH A CARBIDE TIPPED DRILL BIT AND CONVENTIONAL HAMMER DRILL. CORE DRILLING IS NOT ACCEPTABLE. HOLES TO BE BRUSHED AND BLOWN FREE OF ALL DELETERIOUS MATERIAL IN ACCORDANCE WITH MANUFACTURER'S

STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" RODS. SIZE AND

FOR TEMPERATURES BETWEEN 40° F AND -10° F, USE HILTI HIT-ICE ADHESIVE

CONTRACTOR SHALL VERIFY THAT THE SHELF LIFE OF THE ADHESIVE HAS NOT BEEN

FOR CONNECTIONS TO EXISTING REINFORCED CONCRETE OR MASONRY, VERIFY THE LOCATIONS OF THE EXISTING REINFORCING BARS USING A REBAR DETECTOR, PRIOR TO DRILLING. NOTIFY THE ENGINEER PRIOR TO INSTALLATION IF ANCHOR LOCATIONS CONFLICT WITH EXISTING REINFORCING BARS. DO NOT DRILL THROUGH EXISTING REINFORCING BARS.

ALL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO AISC SPECIFICATIONS FOR "DESIGN. FABRICATION. AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST

FABRICATOR IS RESPONSIBLE FOR DESIGN OF CONNECTIONS. UNLESS SPECIFIC END MOMENTS AND REACTIONS ARE INDICATED ON DRAWINGS, DESIGN AND FABRICATE CONNECTIONS TO RESIST THE MAXIMUM UNIFORM LOAD CAPACITY OF THE MEMBER FOR

FIELD CONNECTIONS SHALL BE BOLTED EXCEPT WHERE WELDED CONNECTIONS ARE

1. ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS: SEE WOOD SECTION OF

PROVIDE A 2X WOOD PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 2'-0" O.C. OR 3/16" DIAMETER POWDER DRIVEN FASTENERS

<u>WOOD</u>

1. MATERIALS:

FRAMING LUMBER:

1. 2 x 8 AND LARGER: NO. 2 GRADE OR BETTER SOUTHERN PINE KILN DRIED.

2. 2 x 4 AND 2 x 6: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.

3. 4 x 4 AND 6 x 6: NO. 2 GRADE OR BETTER PRESSURE TREATED SOUTHERN PINE.

4. PRESSURE TREATED LUMBER: NO. 2 GRADE OR BETTER SOUTHERN PINE WITH ACQ (ALKALINE COPPER QUAT), CBA-A, CA-B (COPPER AZOLE), OR BORATE PRESSURE TREATED LUMBER (SILL PLATES ONLY): PRESSURE TREAT TO AWPA USE CATEGORY UC2 FOR SILL PLATES; UC3B FOR ABOVE GROUND EXTERIOR DECKING, STAIRS, RAILINGS, ETC.; AND UC4A FOR GROUND CONTACT.

B. SHEATHING & SUBFLOORING:

1. MATERIALS:

FLOOR SHEATHING: 23/32" STURD-I-FLOOR APA SPAN RATING 48/24 TONGUE & GROOVE SUBFLOOR EXPOSURE 1. ORIENTED STRAND BOARD IS NOT PERMITTED TO BE USED BELOW THINSET CERAMIC TILE OR MARBLE FLOOR FINISHES.

FLOOR SHEATHING: 23/32" ADVANTECH SPAN RATING 48/24 TONGUE & GROOVE SUBFLOOR MANUFACTURED BY HUBER ENGINEERED WOODS.

ROOF SHEATHING: 19/32" APA SPAN RATING 40/20 ROOF SHEATHING EXPOSURE 1. INSTALL PANEL CLIP THAT PRODUCES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/RAFTER SPACE ALONG UNSUPPORTED SHEATHING EDGES.

OR

ROOF SHEATHING: 1/2" ZIP SYSTEM ROOF SPAN RATING 40/20 MANUFACTURED BY HUBER ENGINEERED WOODS. INSTALL PANEL CLIP THAT CREATES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/RAFTER SPACE ALONG UNSUPPORTED SHEATHING EDGES.

- WALL SHEATHING: 7/16" APA SPAN RATING 24/16 WALL SHEATHING EXPOSURE C.
- CONNECTIONS: ALL SHEATHING SHALL BE NAILED TO WOOD FRAMING WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES, 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED **OTHERWISE**
- ADHESIVE FOR GLUED AND NAILED PLYWOOD SUBFLOORING: SHALL CONFORM TO PERFORMANCE SPECIFICATION AFG-01 DEVELOPED BY APA.
- LVL (LAMINATED VENEER LUMBER) BEAMS: DISTRIBUTED AS MICRO-LAM LVL, GANGLAM LVL AND TIMBER MAX LVL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LVL BEAMS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:
 - 1. Fb = 2600 PSI BENDING
 - 2. Fv = 285 PSI HORIZONTAL SHEAR
 - Fc⊥ = 750 PSI COMPRESSION PERPENDICULAR TO GRAIN
 - 4. E = 1,900,000 PSI MODULUS OF ELASTICITY OR

PSL (PARALLEL STRAND LUMBER) BEAMS AND COLUMNS: DISTRIBUTED AS PARALLAM. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PSL BEAMS AND COLUMNS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:

1. BEAMS: a. Fb = 2900 PSI BENDING

- b. Fv = 290 PSI HORIZONTAL SHEAR
- c. Fc = 2900 PSI COMPRESSION PARALLEL TO GRAIN
- Fc.1 = 650 PSI COMPRESSION PERPENDICULAR TO GRAIN
- e. E = 2,000,000 PSI MODULUS OF ELASTICITY

2. COLUMNS:

- a. Fb = 2400 PSI BENDING
- b. Fv = 190 PSI HORIZONTAL SHEAR
- Fc = 2500 PSI COMPRESSION PARALLEL TO GRAIN
- Fc⊥ = 425 PSI COMPRESSION PERPENDICULAR TO GRAIN
- e. E = 1,800,000 PSI MODULUS OF ELASTICITY
- PSL MEMBERS EXPOSED TO WEATHER OR HIGH MOISTURE SHALL BE CBA-A OR CA-B TREATED TO RETENTION LEVELS OF .20 LBS/FT³ w/ CBA-A OR .10 LBS/FT³ w/ CA-B FOR BEAMS AND .41 LBS/FT³ w/ CBA-A OR .21 LBS/FT³ w/ CA-B FOR COLUMNS. CONNECTORS FOR CBA-A OR CA-B TREATED BEAM MEMBERS SHALL BE HOT DIP GALVANIZED. CONNECTORS FOR CBA-A OR CA-B TREATED COLUMN MEMBERS SHALL BE STAINLESS STEEL TYPE 316.
- WOOD TRUSSES:

3

METAL PLATE CONNECTED WOOD TRUSSES SHALL BE FABRICATED BY A MANUFACTURER CERTIFIED UNDER THE TRUSS PLATE INSTITUTE NER-QA 430 QUALITY ASSURANCE PROGRAM.

- 2. ALL WORK TO CONFORM TO THE "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" (ANSI/TPI 1-2002) BY THE TRUSS PLATE INSTITUTE, INC.
- UNLESS NOTED OTHERWISE, ALL TRUSSES SHALL BE DESIGNED FOR THE LOADS AS SHOWN IN THE DESIGN LOAD SECTION OF THESE NOTES.
- SHOP DRAWINGS ARE REQUIRED AND SHALL BEAR THE DESIGNERS ENGINEERING SEAL FROM THE STATE THE PROJECT OCCURS. PER IRC 802.10, SHOP DRAWINGS SHALL INCLUDE ALL DESIGN AND FABRICATION DATA, TEMPORARY AND PERMENANT BRACING REQUIREMENTS (CLEARLY SHOWING PERMANENT BRACING REQUIREMENTS FOR WEB COMPRESSION AND BOTTOM CHORD MEMBERS), HANDLING AND ERECTION INSTRUCTIONS, ALL FIELDCONNECTION REQUIREMENTS, AND AN ERECTION PLAN LOCATING ALL TRUSSES. WOOD TRUSSES SHALL NOT BE FABRICATED UNTIL SHOP DRAWINGS ARE APPROVED BY ARCHITECT/ENGINEER.
- LAP SPLICE PERMANENT TRUSS BRACING A MINIMUM OF ONE TRUSS SPACE.
- FABRICATOR SHALL DESIGN ALL TRUSS TO TRUSS AND/OR TRUSS TO BEAM CONNECTIONS AND SHALL SPECIFY THE PROPER SIZED HANGER ON THE SHOP DRAWINGS.
- ALL TRUSSES UNDER 60' LONG SHALL BE BRACED DURING ERECTION PER "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES", BCSI-B1 SUMMARY SHEET BY THE TRUSS PLATE INSTITUTE, UNLESS MORE STRICT BRACING IS REQUIRED BY THE TRUSS MANUFACTURER. TRUSSES OVER 60' LONG SHALL HAVE TEMPORARY BRACING DESIGNED BY A PROFESSIONAL ENGINEER WHO IS REGISTERED IN THE STATE THE

PROJECT OCCURS, AND SHALL HAVE DRAWINGS SUBMITTED, BEARING THE DESIGNER'S SEAL, SHOWING THE DETAILS OF THE TEMPORARY BRACING. THIS BRACING SHALL REMAIN AS PERMANENT BRACING. BRACING IN THE PLANE OF THE TOP CHORD MAY BE REMOVED WHEN THE TOP CHORD IS LATERALLY BRACED BY PLYWOOD SHEATHING.

- AT EXTERIOR GABLE ENDS:
 - PROVIDE 2 X 4 X 10' LONG HORIZONTAL BRACES PERPENDICULAR TO GABLE END WALL AT 4' ON CENTER. NAIL BRACES TO GABLE END AND TO TOP OF THE BOTTOM CHORDS OF EACH TRUSS WITH (2)-10d NAILS.
 - TOENAIL GABLE END TRUSS TO TOP PLATE OF STUD WALL WITH 10d TOENAILS AT 16" ON CENTER.
 - BRACE NAILING STUDS IN GABLE END TRUSS PER MANUFACTURER'S C. DRAWINGS.
- GABLE END TRUSSES SHALL NOT BE TALLER THAN 8'-9". GREATER THAN 8'-9" HIGH SHALL UTILIZE SLOPED STUD WALLS FOLLOWING THE PROFILE OF THE TRUSSES.

10. DESIGN WOOD TRUSSES TO BEAR ON THE EXTERIOR WALL UNLESS INDICATED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.

FASTENERS: 1. BOLTS:

G.

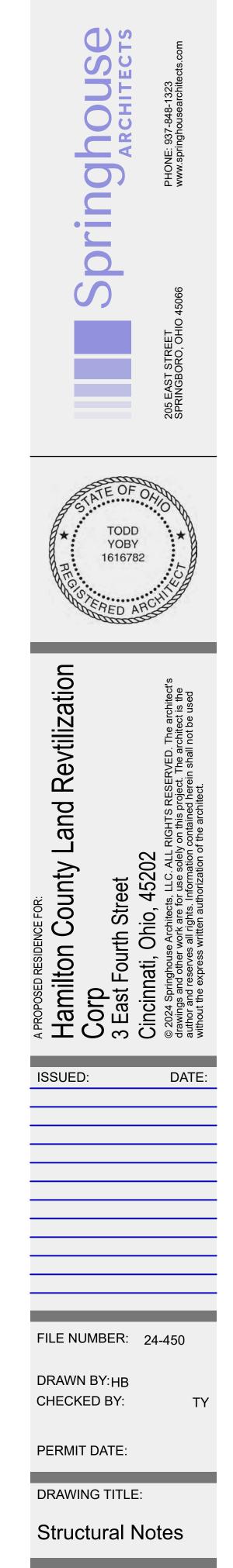
- ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS (WITH THE EXCEPTION OF BORATE TREATED): (1) STAINLESS STEEL TYPE 304 OR 316. -OR-(2) HOT DIP GALVANIZED PER ASTM A123: ASTM A36, ASTM A307, OR ASTM F1554 GRADE 36. OTHER BOLTS: ASTM A307. PROVIDE STANDARD CUT WASHER BETWEEN BOTH HEAD AND NUT TO WOOD CONNECTION. 2. NAILS: 8d COMMON= 0.131"" DIA, 2 ½"" LG. 10d COMMON= 0.148"" DIA, 3"" LG. 16d COMMON= 0.162"" DIA, 3 1/2"" LG 3. WOOD SCREWS: c. #8= 0.164"" DIA. d. #10= 0.19"" DIA. e. #12= 0.216"" DIA
- 4. LAG SCREWS:
- f. PROVIDE STANDARD WASHER BETWEEN HEAD TO WOOD CONNECTION. e. PREBORE HOLES PRIOR TO INSTALLATION.
- UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE MADE PER TABLE 602.3a(1), "FASTENING SCHEDULE FOR STRUCTURAL MEMBERS", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
- ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED. 3.
- AT BOLTED 2x LEDGERS, PROVIDE NO LESS THAN 2" CLR. FROM CENTER OF BOLT TO TOP AND BOTTOM OF LEDGER.
- ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.
- SIMPSON CONNECTORS USED IN ALL APPLICATIONS WITH ACQ-C, ACQ-D, CBA-A, OR CA-B, OR NON-DOT BORATE TREATED LUMBER SHALL BE ZMAX (G185) OR HOT DIPPED GALVANIZED. G60 AND G90 COATED PRODUCTS ARE NOT ALLOWED FOR APPLICATIONS WITH TREATED LUMBER. G90 CAN BE USED WITH BORATE TREATED LUMBER IN INTERIOR-DRY APPLICATIONS. ONLY USE GALVANIZED FASTENERS WITH ZMAX AND HOT DIP GALVANIZED CONNECTORS. AT OWNER''S OPTION, STAINLESS STEEL TYPE 304 OR TYPE 316L WITH STAINLESS STEEL FASTENERS CAN BE USED TO INCREASE LIFE EXPECTANCY OF THE CONNECTOR. STAINLESS STEEL CONNECTORS SHOULD BE USED FOR LUMBER WITH CHEMICAL RETENTION LEVELS GREATER THAN 0.40 PCF FOR ACQ, 0.41 PCF FOR CBA-A, OR 0.21 PCF FOR CA-B.
- FOR WOOD ROOF RAFTERS AND TRUSSES, INSTALL SIMPSON H2.5A HURRICANE TIE AT EACH MEMBER AT EACH BEARING LOCATION IN ADDITION TO THE TYPICAL NAILING REQUIREMENT IN THE ""FASTENING SCHEDULE"". 8. BRIDGING IN ALL FLOOR AND CEILING JOISTS SHALL BE 1" X 3" CROSS BRIDGING (DOUBLE NAILED) AT 8'-0" O.C. MAXIMUM. STEEL CROSS BRIDGING IS AN ACCEPTABLE ALTERNATE.

AT FIRST FLOOR JOISTS THAT ARE PARALLEL TO THE BASEMENT FOUNDATION WALL. PROVIDE FULL DEPTH SOLID BLOCKING AT ANCHOR BOLT SPACING BETWEEN THE RIM JOIST AND THE FIRST (2) INTERIOR JOIST SPACES. NAIL SHEATHING TO EACH BLOCK WITH FOUR 10d NAILS.

- 10. WALL STUDS SHALL LINE UP WITH FLOOR JOISTS OF FLOORS ABOVE AND BELOW.
- PROVIDE DOUBLE RIM JOIST WHERE FRAMING RUNS PARALLEL TO FOUNDATION OR 11 STUD WALL.
- 12. PROVIDE A STUD AT ALL TOP PLATE SPLICE LOCATIONS.
- PROVIDE DOUBLE JOISTS IN FLOOR CONSTRUCTION BELOW ALL INTERIOR 13. PARTITIONS THAT RUN PARALLEL WITH THE JOISTS (SPREAD JOISTS AS NECESSARY TO ACCOMMODATE PLUMBING).
- 14. FOR BUILT UP FREE STANDING COLUMNS, USE THE FOLLOWING NAILING PATTERNS: (2) 2X410d NAILS AT 6"" O.C. STAGGERED FRONT TO BACK, SET NAILS 1"" FROM EDGE; (3) 2X4-30d NAILS AT 8"" O.C. STAGGERED FRONT TO BACK, SET NAILS 1 1/2"" FROM EDGE; (3) 2X6- TWO ROWS OF 30d NAILS AT 8" O.C. STAGGERED SIDE TO SIDE AND FRONT TO BACK, SET NAILS 11/2"" FROM EDGE.
- NOTCHES IN EXTERIOR WALL OR INTERIOR BEARING WALL STUDS ARE NOT TO 15 EXCEED ONEFOURTH OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 40% OF THE STUD WIDTH OR WITHIN 5/8" OF STUD EDGE.
- NOTCHES IN FLOOR JOISTS AND ROOF RAFTERS SHALL NOT BE LOCATED IN THE 16 MIDDLE ONE-THIRD OF THE SPAN. DEPTH OF NOTCHES IN THE TOP OR BOTTOM OF THE MEMBER ARE NOT TO EXCEED ONE-SIXTH OF THE MEMBER DEPTH, AND LENGTH SHALL NOT EXCEED ONETHIRD OF MEMBER DEPTH. HOLES SHALL NOT BE BORED LARGER THAN ONE-THIRD OF THE MEMBER DEPTH, OR WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE MEMBER, OR WITHIN TWO FEET OF BEARING. NO HOLES OR NOTCHES ARE ALLOWED IN BEAMS UNLESS APPROVED BY ARCHITECT/ENGINEER.
- 17 WHERE CONCENTRATED LOADS FROM BEAMS, GIRDER TRUSSES, ETC. BEAR ON STUD WALLS, PROVIDE THE NUMBER OF STUDS NECESSARY TO SUPPORT THE FULL WIDTH OF THE BEARING MEMBER, UNLESS NOTED OTHERWISE. THE REQUIRED NUMBER OF SUPPORTING STUDS SHALL CONTINUE FOR THE FULL HEIGHT OF WALL BELOW THE CONCENTRATED LOAD, WITH CONTINUOUS BLOCKING THRU FLOOR FRAMING AT EACH FLOOR LEVEL, DOWN TO SOLID BEARING ON FOUNDATION WALL SILL PLATE OR

INTERIOR STEEL OR WOOD BEAM.

- MINIMUM BEARING STUD & FULL HEIGHT STUD REQUIREMENTS FOR SUPPORT OF 18 HEADERS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS:
 - HEADER SPAN 6"-0"" OR LESS: MINIMUM (1) 2x BEARING STUD NAILED TO (1) Α. FULL HEIGHT STUD WITH 10d NAILS AT 24"" O.C.
 - HEADER SPAN GREATER THAN 6"-0"": MINIMUM (2) 2x BEARING STUDS NAILED TO (1) FULL HEIGHT STUD WITH 10d NAILS AT 24³⁹ O.C., UNLESS OTHERWISE.
- 19. ALL MULTIPLE HEADERS AND BEAMS WITH DEPTH LESS THAN 14 INCHES SHALL BE FASTENED TOGETHER WITH MINIMUM (3) ROWS OF 10d COMMON NAILS AT 12" O.C., STAGGERED ON OPPOSITE SIDES. FOR DEPTHS EQUAL TO OR GREATER THAN 14 INCHES, FASTEN TOGETHER WITH (4) ROWS OF 10d NAILS AT 12""O.C. FOR FOUR OR MORE PLY BEAMS, THRU-BOLT WITH 1/2" DIAMETER BOLTS AT 12" O.C. STAGGERED TOP AND BOTTOM. ALL SIDE LOADED BEAMS SHALL BE THRU-BOLTED.
- 20. SHEATH ALL EXTERIOR WALLS WITH APA RATED WALL SHEATHING.





GENERAL NOTES

EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETEE
 NO SMOKING ALLOWED IN BUILDING AT ANY TIME.

3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY TI COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ONSITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MA' NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.

4) - ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOF OVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALL
5) - CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MUSUSE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.

6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.

7) - CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.

8) - ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S RERESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

9) - FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY OWNER WALK THROUGHS.

10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AN ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS' AND SUBCONTRACTORS'RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

1) - FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.

2) - STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.

3) - PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.

4) - IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 12"

5) - INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

1) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.

2) - ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.

3) - SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION.
4) - PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

PER RCO 314.3 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL. B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM. C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO

PER RCO 315.1

314.3

A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS OR
IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM.
5) EGRESS WINDOW REQUIREMENTS OPENING > 5.7 SQ FT

OPENING > 5.7 SQ FT OPENING WIDITH > 24"

OPENING HEIGHT > 20" MAX DISTANCE FROM THE FLOOR: 44"

6) SAFTEY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.

- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.

- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANES GREATER THAN 9 SF.

Window Schedule							
ID	Unit Dimensions	Operation	Tempered	Remarks			
W-01	3'-0"×5'-0"	Double Hung					
W-02	2'-8"×4'-0"	Double Hung					
W-03	2'-0"×3'-0"	Double Hung					
W-04	3'-0"×5'-0"	Double Hung					

408.3 UNVENTED CRAWL SPACE

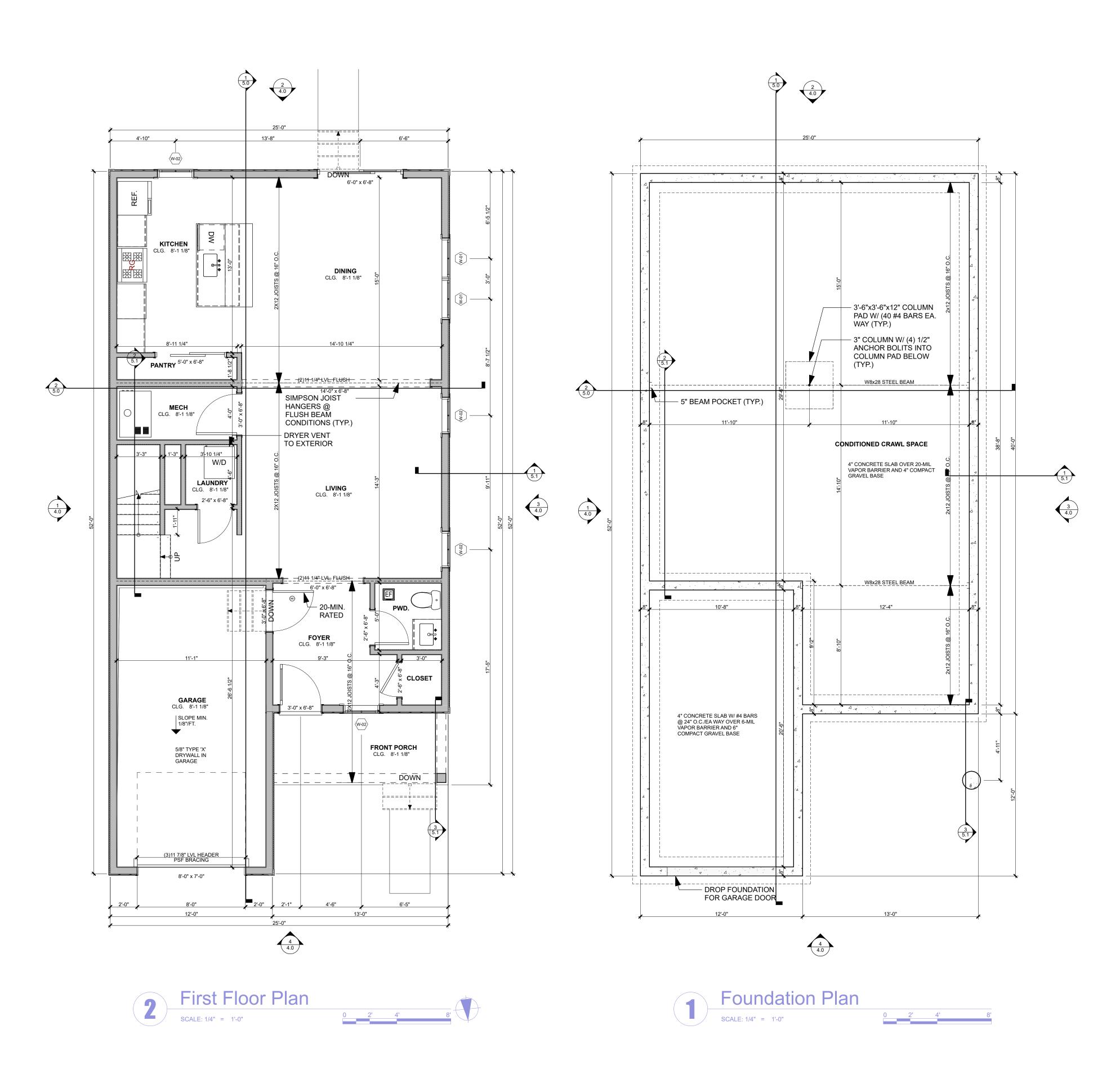
FORCED AIR REGISTER TO DELIVER SUPPLY AIR FROM FURNACE OR AIR HANDLER TO CRAWL SPACE @ MIN. 1 CFM/MIN PER 50 SF OF UNDER-FLOOR AREA INCLUDING RETURN AIR PATHWAY

FOUNDATION NOTES

1. FOUNDATION SYSTEM DESIGN IS BASED ON A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3,000 PSI IN THE FOOTINGS. IF A LOWER STRENGTH CONCRETE WILL BE USED, NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION, SO THAT THE REINFORCING STEEL SIZE AND/OR SPACING CAN BE ADJUSTED TO SUIT THE CONCRETE STRENGTH.

2. FOOTING DESIGNS ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF MINIMUM.

3. CONTINUOUS FOOTING TO BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL DESIGNED BY CIVIL ENGINEER AND TESTED BY GEO-TECHNICAL ENGINEER. IT IS CONTRACTOR'S RESPONSIBILITY TO OVERSEE AND ENSURE ALL BEARING LOCATIONS MEET THESE REQUIREMENTS. ANY CHANGES MADE IN THE FIELD SHOULD BE CONSULTED WITH THE ARCHITECT.



WALL BRACING

WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED/ ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W.S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS W/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 8D COMMON NAILS (0.131" x 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWING. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

Area Schedule					
LEVEL	Area (SF)				
FIRST FLOOR	892				
GARAGE	220				
SECOND FLOOR	883				
	1,995 ft ²				

Springhouse	205 EAST STREET PHONE: 937-848-1323 SPRINGBORO, OHIO 45066 www.springhousearchitects.com
TODD YOBY 1616782	
A PROPOSED RESIDENCE FOR: Hamilton County Land Revtilization Corp 3 East Fourth Street Cincinnati, Ohio, 45202	© 2024 Springhouse Architects, LLC. ALL RIGHTS RESERVED. The architect's drawings and other work are for use solely on this project. The architect is the author and reserves all rights. Information contained herein shall not be used without the express written authorization of the architect.
	DATE:
FILE NUMBER: 24 DRAWN BY:HB CHECKED BY: PERMIT DATE: DRAWING TITLE: Foundation & Floor Plans	TY
Foundation &	. First

WALL BRACING

WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED/ ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W.S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS w/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 8D COMMON NAILS (0.131" x 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWING. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

GENERAL NOTES

1) - EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETED 2) - NO SMOKING ALLOWED IN BUILDING AT ANY TIME.

3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY TI COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ONSITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MA NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.

4) - ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOF ÓVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALL 5) - CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MU ÚSE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.

6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.

7) - CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.

8) - ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S RERESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

9) - FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY ÓWNER WALK THROUGHS.

10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AN ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS' AND SUBCONTRACTORS'RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

1) - FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.

2) - STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.

3) - PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.

4) - IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 12"

5) - INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

1) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.

2) - ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.

3) - SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION. 4) - PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

PER RCO 314.3 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL. B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM. C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO

PER RCO 315.1

314.3

A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS OR IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM. 5) EGRESS WINDOW REQUIREMENTS OPENING > 5.7 SQ FT

OPENING WIDITH > 24" OPENING HEIGHT > 20" MAX DISTANCE FROM THE FLOOR: 44"

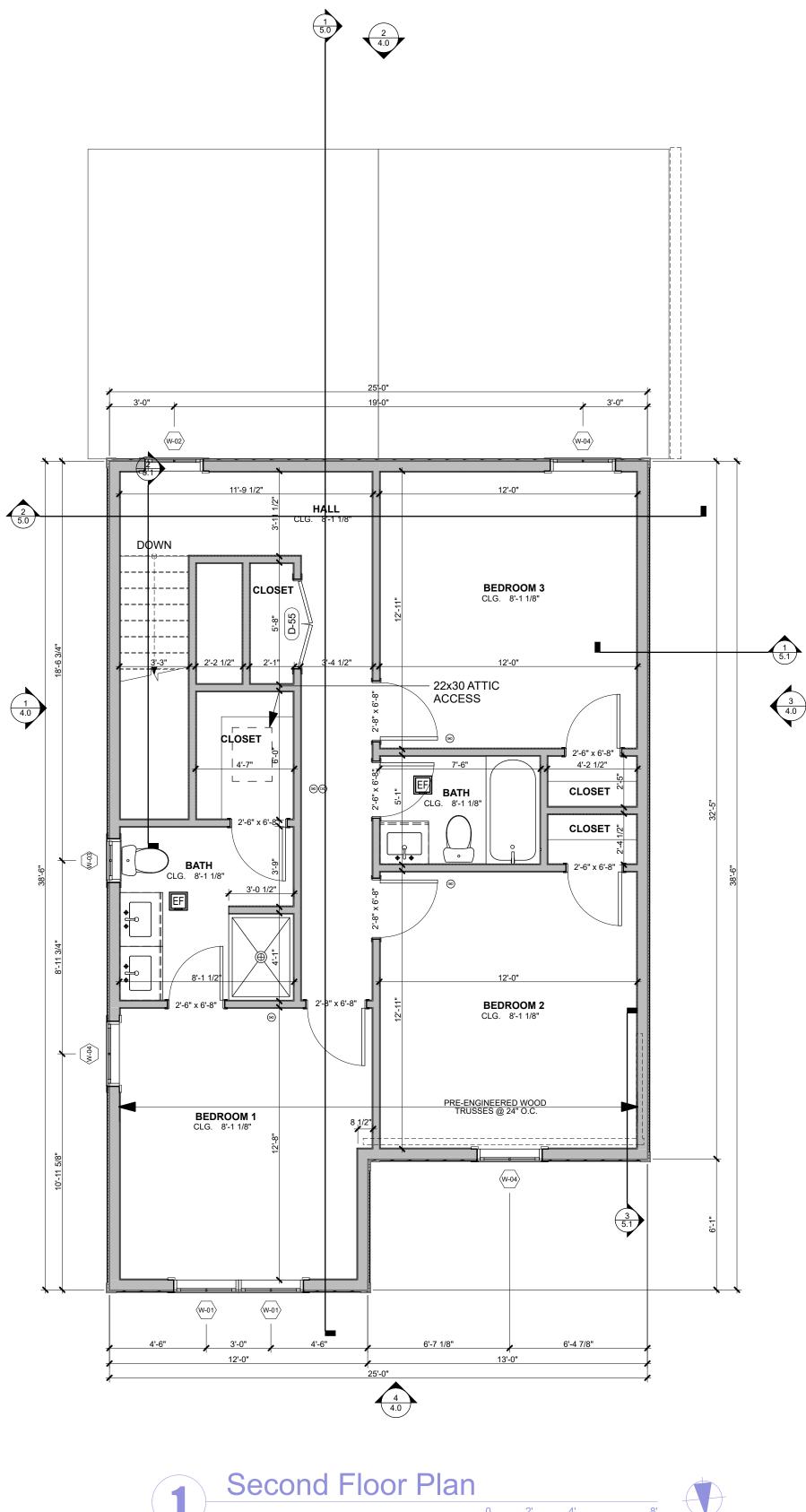
6) SAFTEY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

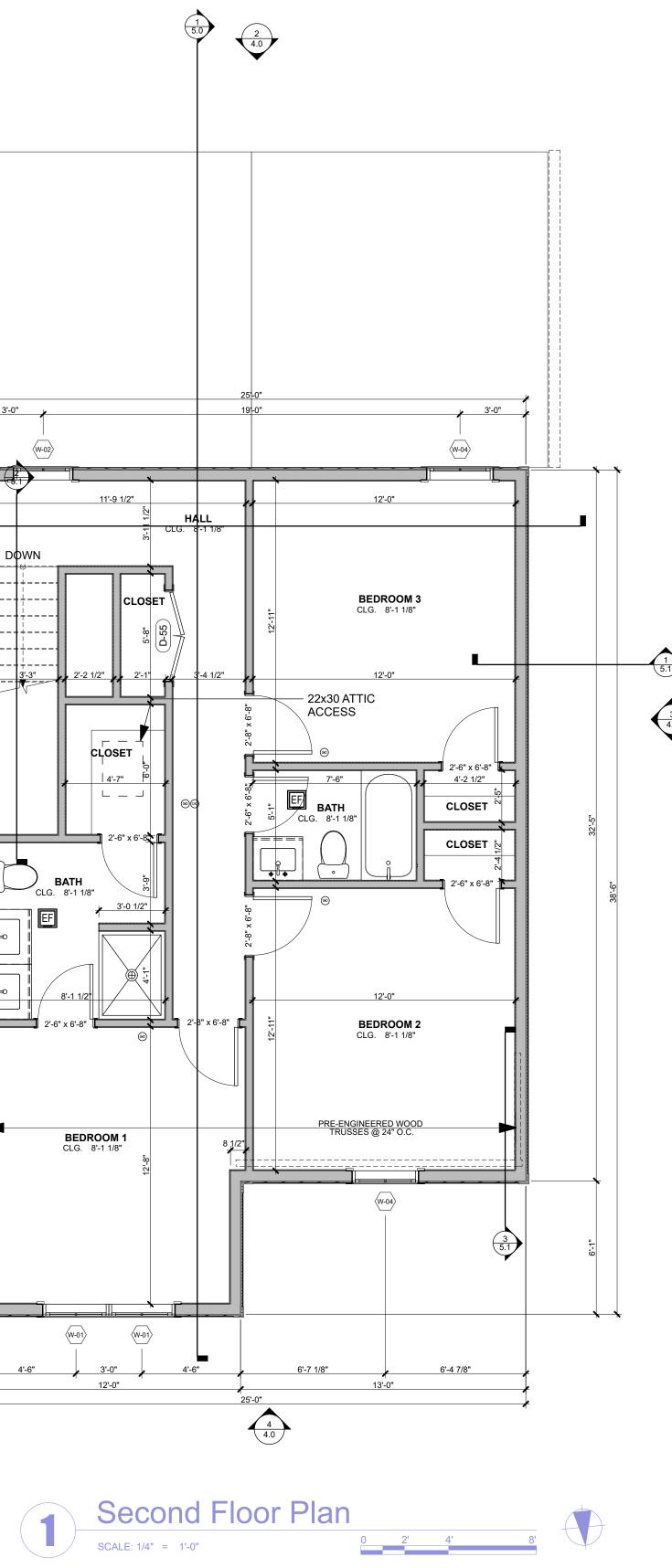
- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.

- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.

- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANES GREATER THAN 9 SF.

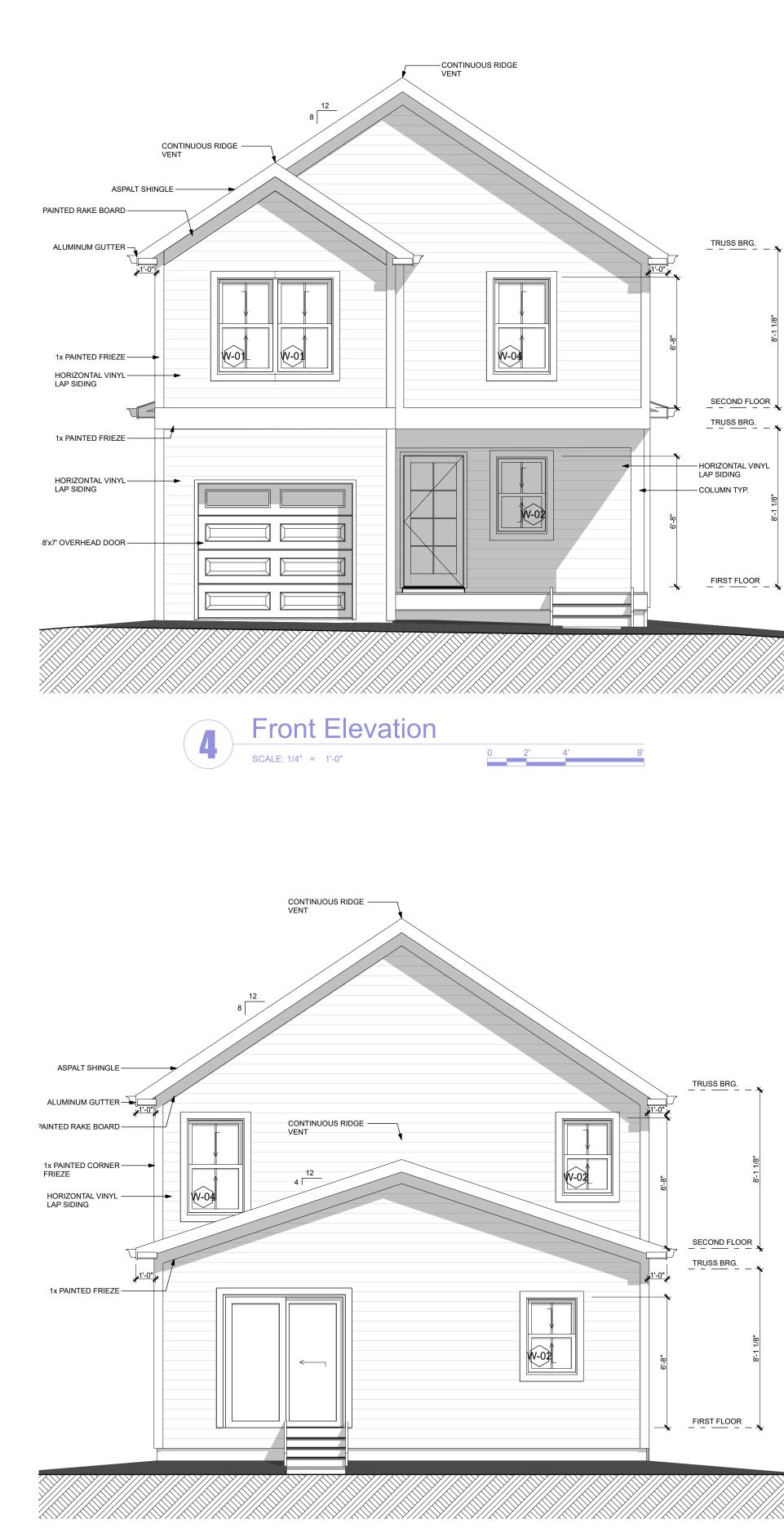
Window Schedule							
ID	Unit Dimensions	Operation	Tempered	Remarks			
W-01	3'-0"×5'-0"	Double Hung					
W-02	2'-8"×4'-0"	Double Hung					
W-03	2'-0"×3'-0"	Double Hung					
W-04	3'-0"×5'-0"	Double Hung					





Area (SF)
892
220
883
1,995 ft ²

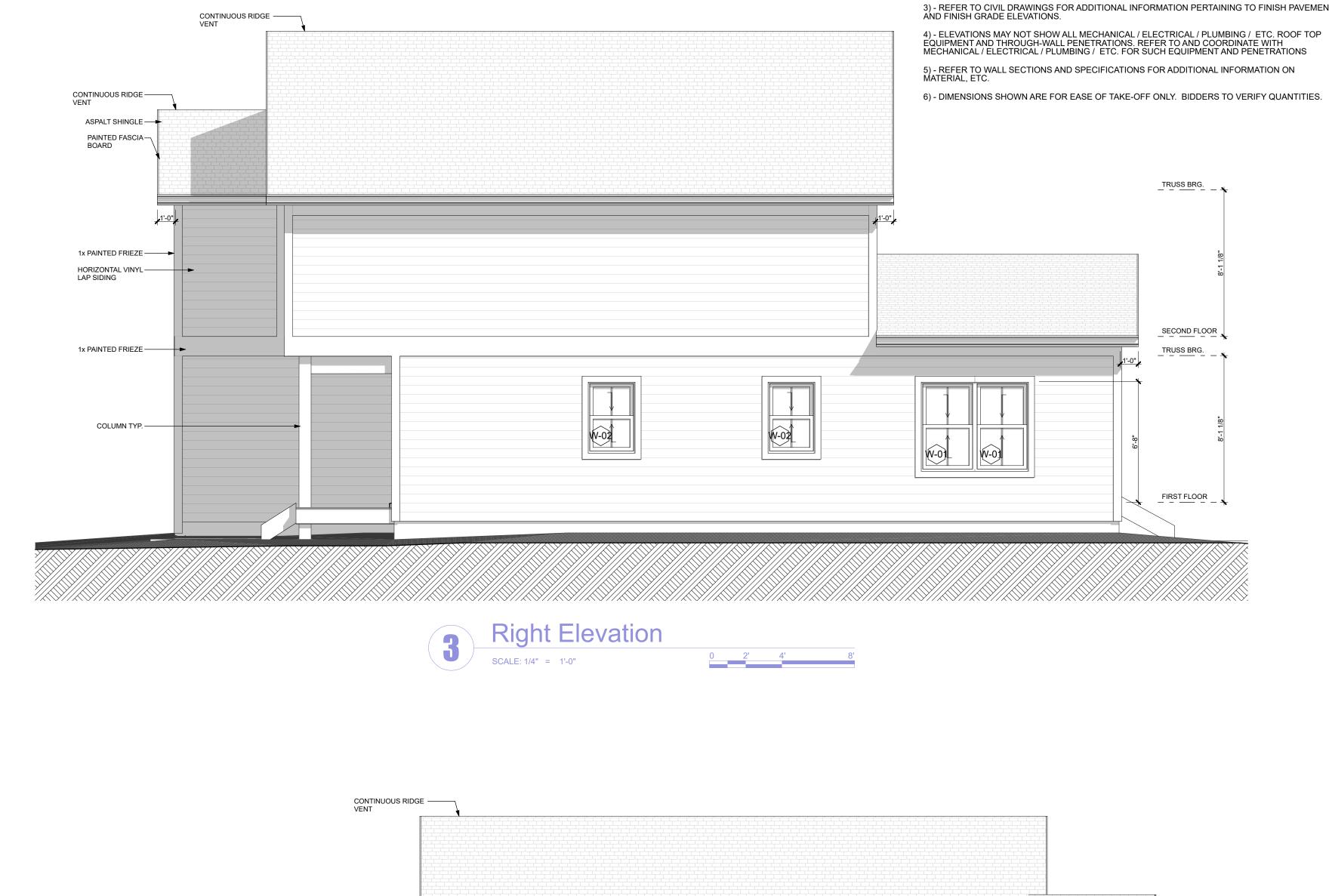
ty Land Revtilization th th 202 202 202 202 202 202 202 202 202 20
TODD YOBY 1616782
ARC STERED ARCHING
RVED. The architect's the architect is the used
A PROPOSED RESIDENCE FOR: Hamilton County Land Revtilizatio Pamilton County Land Revtilizatio Corp Corp 3 East Fourth Street 3 East Fourth Street 3 East Fourth Street 5 Corp 5 Corp
FILE NUMBER: 24-450
DRAWN BY:HB CHECKED BY: TY PERMIT DATE:
DRAWING TITLE: Second Floor Plan

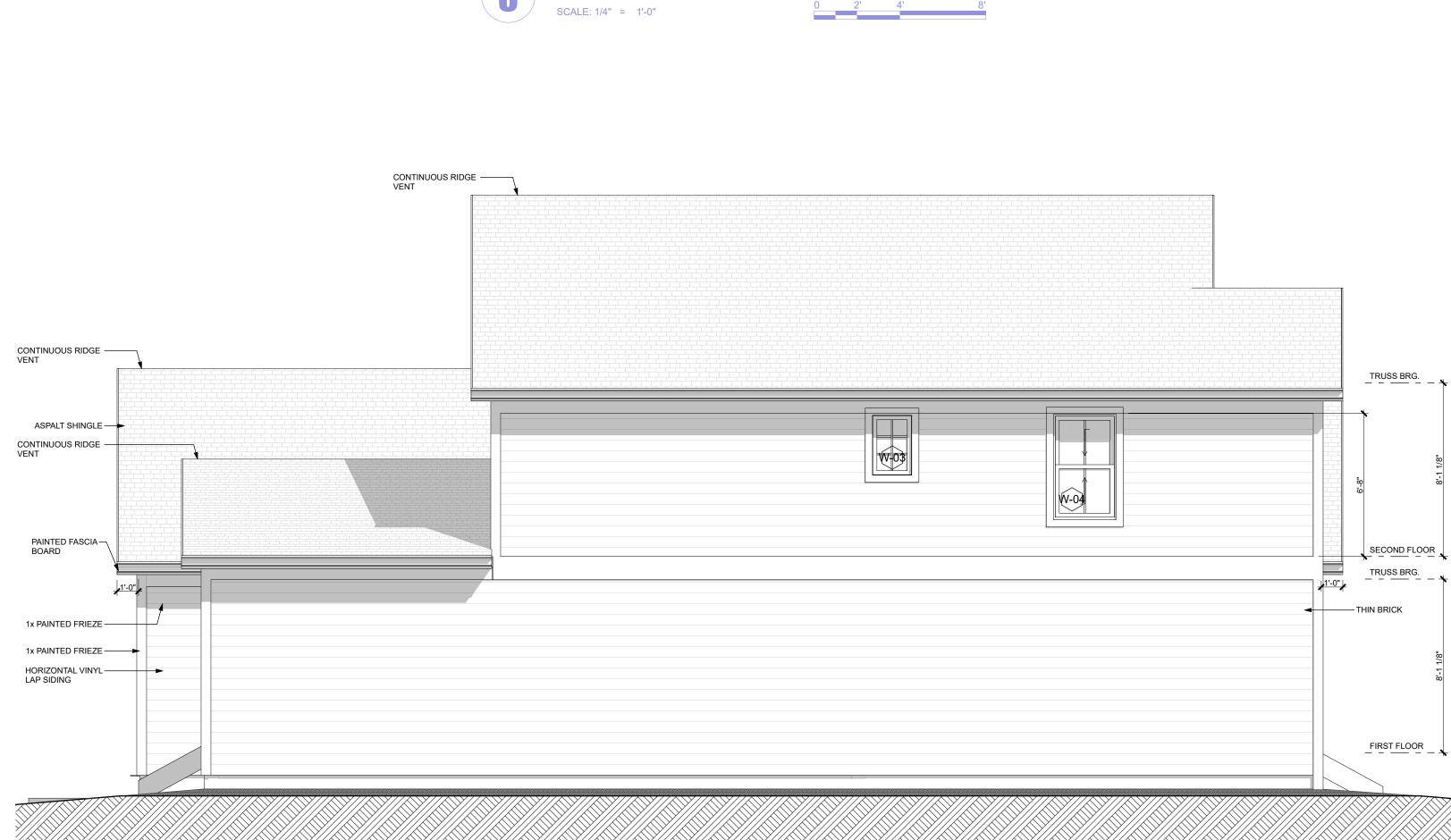




Rear Elevation SCALE: 1/4" = 1'-0"











Exterior Elevation General Notes

1) - VERIFY IN FIELD ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. 2) - ALL METAL COPING, METAL FASCIA, METAL FLASHING, ROOF ACCESSORIES, LOUVERS, SHALL BE PREFINISHED UNLESS NOTED OTHERWISE. 3) - REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO FINISH PAVEMENT AND FINISH GRADE ELEVATIONS.

5) - REFER TO WALL SECTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIAL, ETC.

6) - DIMENSIONS SHOWN ARE FOR EASE OF TAKE-OFF ONLY. BIDDERS TO VERIFY QUANTITIES.











Building Sections

DRAWING TITLE:

PERMIT DATE:

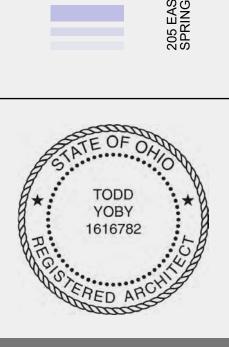
DRAWN BY:HB CHECKED BY:

ΤY

FILE NUMBER: 24-450

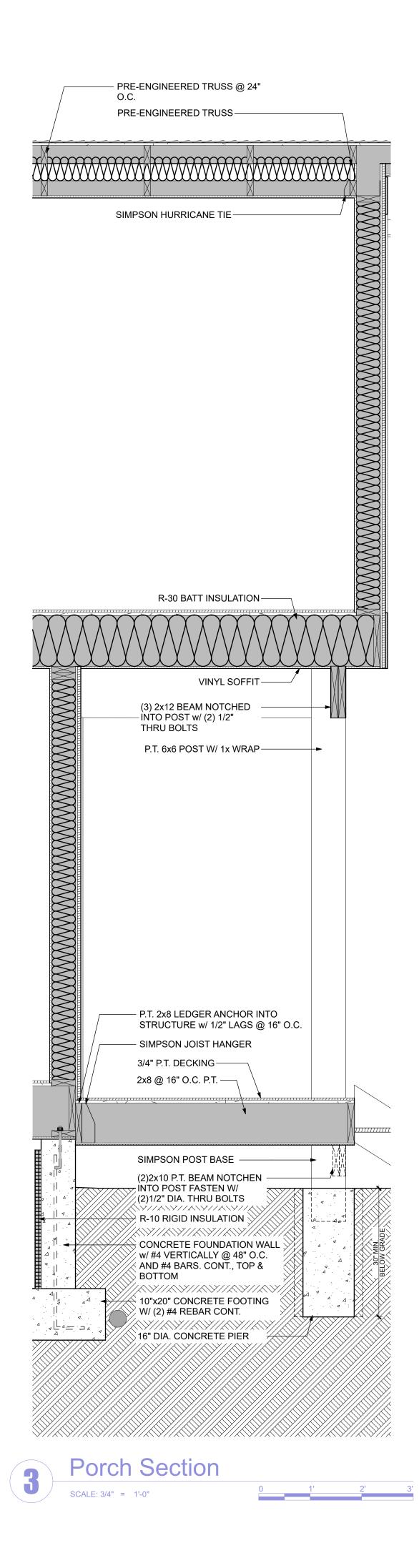
A PROPOSED RESIDENCE FOR: Hamilton County I Corp 3 East Fourth Street Cincinnati, Ohio, 45202 © 2024 Springhouse Architects, LLC. ALL drawings and other work are for use solely author and reserves all rights. Information without the express written authorization o ISSUED: DATE:

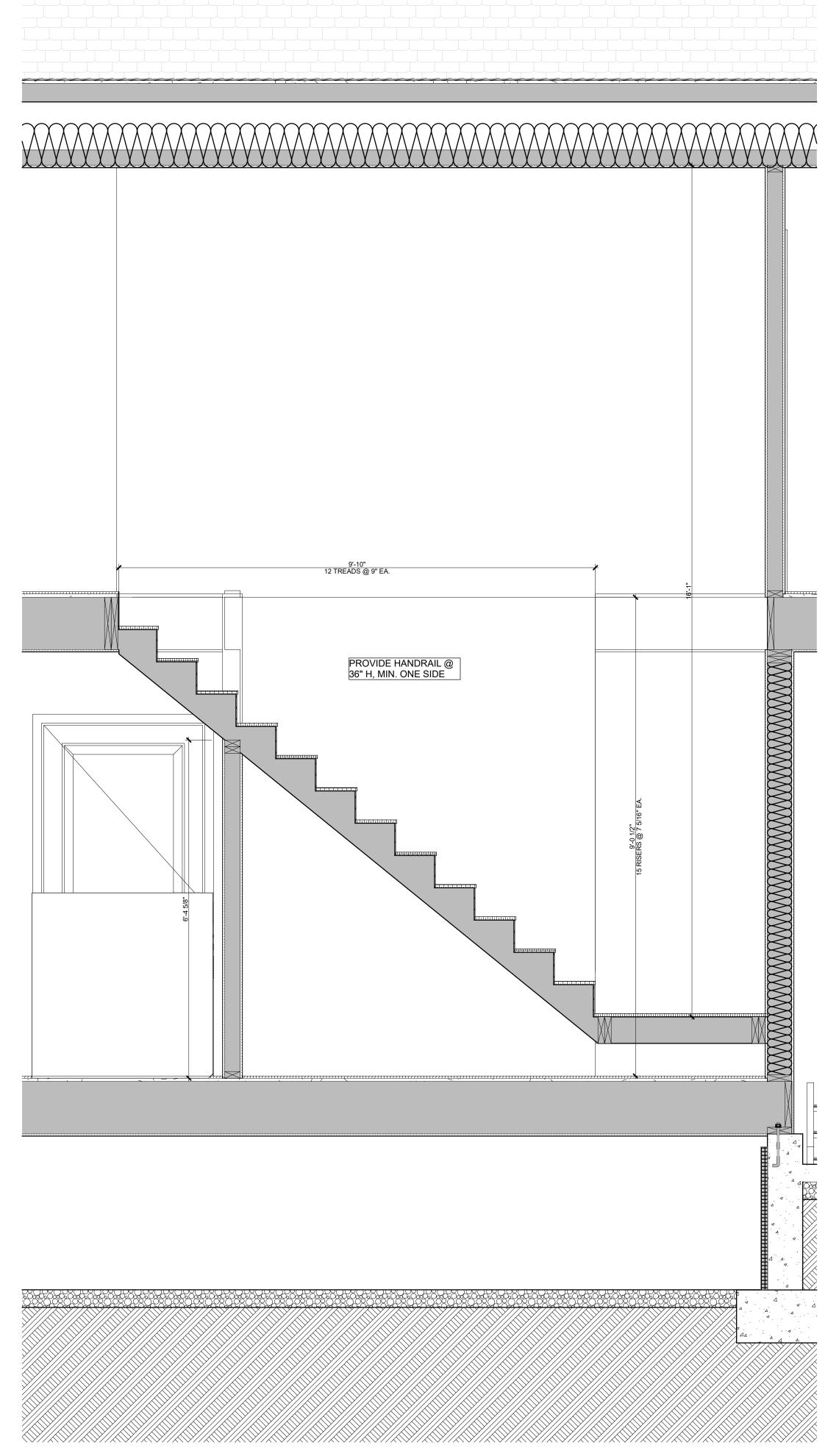
Land Revtilization ESERVED. The architec oject. The architect is the herein shall not be used



205 EAST STREET SPRINGBORO, OH

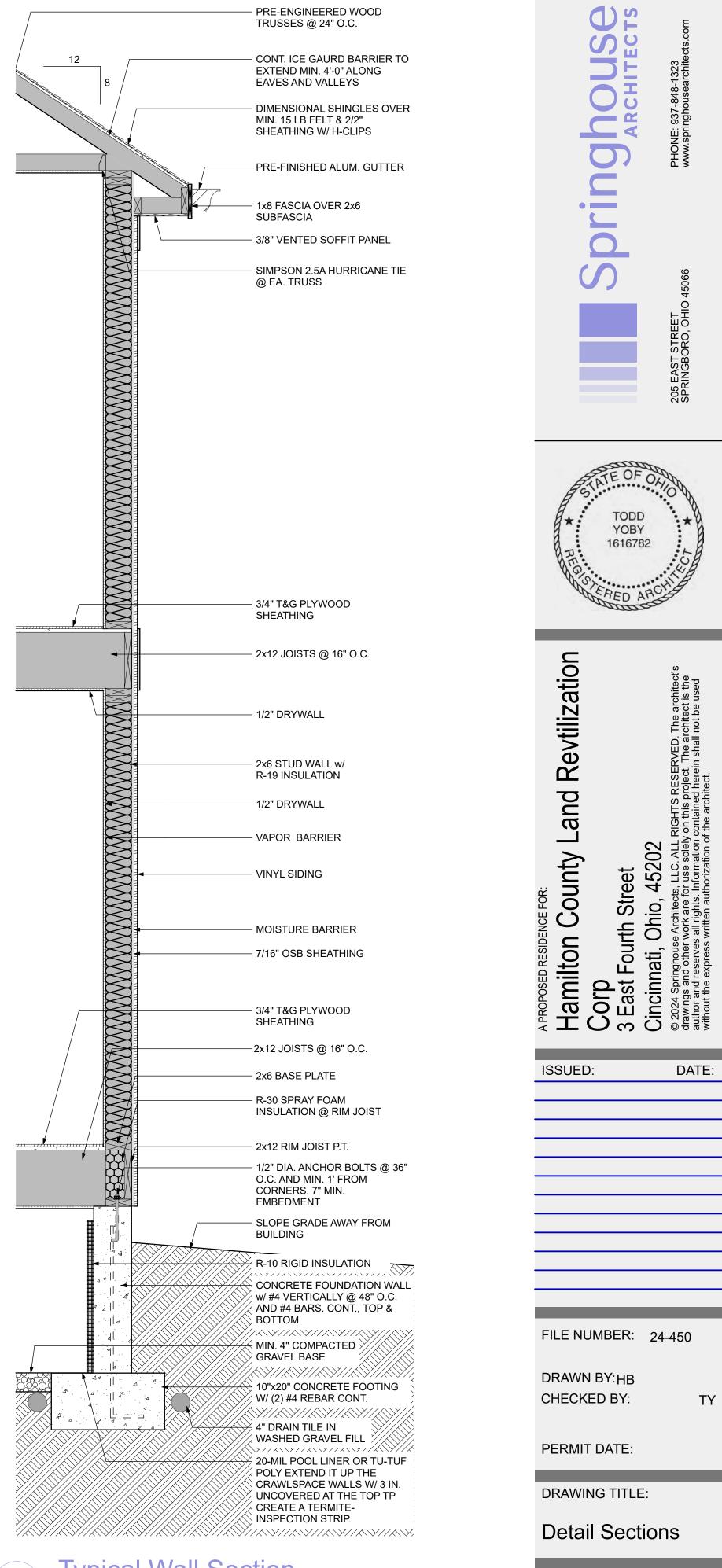
Springhouse











 Typical Wall Section

 SCALE: 3/4" = 1'-0"

5.

ΤY



Sheri Scott Springhouse Architects 205 East Street Springboro, OH 45066 sheri@springhousearchitects.com www.springhousearchitects.com



Energy Efficiency Compliance

1.) METHOD: RCO 2019 - RCO PRESCRIPTIVE METHOD, SEE MIN. VALUES BELOW

U FACTOR = .32

U FACTOR = .55

R-VALUE = 30 MIN

R-VALUE = 49 MIN

R-VALUE = 20 MIN

R-VALUE = 19 MIN

R-VALUE = 10 MIN

R-VALUE = 10R-VALUE = 10 MIN

U FACTOR = .3U FACTOR = .35 MAX



IF APPLICABLE NO ATTIC

NOTES

2x6 WOOD FRAMING R-13 POLY FACED 2' MIN DEPTH

CONTINUOUS R-VALUE = 8/6 MIN (<3") UNCOND. SPACES

2.) HIGH EFFICIENCY LAMPS TO BE PROVIDED IN MIN. 90% OF ALL LIGHTING FIXTURES 3.) PROGRAMMABLE THERMOSTAT TO BE PROVIDED AND INITIALLY SET FOR HEATING OF 70*F AND COOLING

Sheet Index

- C.0 Cover Sheet
- C.1 Structural Notes
- 2.0 Foundation & First Floor Plans
- 3.0 Second Floor Plan
- 4.0 **Exterior Elevations**
- 5.0 **Building Sections**
- 5.1 **Detail Sections**

Drawing Symbols



- Exhaust Fan
- Smoke Detector
- Carbon Monoxide Detector Floor Drain



Hose Bibb

Section/Elevation Marker

- - Material Tag Window Tag

General Notes

GOVERNING CODE - 2019 OHIO RESIDENTIAL CODE, ALL WORK SHALL CONFORM TO THIS CODE AND ALL OTHER LOCAL AND APPLICABLE CODES.

BIDDING INSTRUCTIONS: CONTRACTOR TO BID SCOPE OF WORK DEFINED HEREIN IN LINE-ITEM FORMAT. OWNER MAY ASK FOR ADDITIONAL BREAKDOWN OF BID PRIOR TO AWARD. REFER TO CONSTRUCTION DOCUMENT SHEETS FOR ADDITIONAL NOTES.

- 1. DO NOT SCALE DRAWINGS
- ALL BEDROOMS SHALL HAVE A MINIMUM OF ONE WINDOW THAT COMPLIES WITH LOCAL EGRESS REQUIREMENTS
- STRUCTURAL FRAMING MEMBER TO HAVE A MINIMUM FB. = 1275 PSI 3.
- ALL EXTERIOR BEARING WALL HEADERS TO BE (3) 2x10's

ALL EXTERIOR BEARING HEADERS LESS THAN 6'-0" SPAN REQ. 1 JACK 1 KING EACH SIDE ALL EXTERIOR BEARING HEADERS LMORE THAN 6'-0" SPAN REQ. 2 JACK 2 KING EACH SIDE ALL INTERIOR BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x8's U.N.O.

ALL INTERIOR BEARING HEADERS 4'-0" - 6'-0" SPAN TO BE (2) 2x10's U.N.O.

ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x4's U.N.O. ALL INTERIOR NON-BEARING HEADERS 4'-0" - 8'-0" SPAN TO BE (2) 2x6's U.N.O.

- DETAILS FOR ALL ENGINEERED LUMBER PRODUCTS, i.e. GLU-LAMS, MICRO-LAMS, TJI'S ROOF TRUSSES, ETC. TO BE FURNISHED BY MANUFACTURER.
- GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECTS OFFICE TRUSS DESIGN AND LAYOUT DRAWINGS IF DESIGN DEVIATES FROM ARCHITECTS CONSTRUCTION DOCUMENTS. SUBMIT DRAWINGS WITH DEVIATIONS NOTED FOR REVIEW AND COORDINATION PRIOR TO BEGINNING OF CONSTRUCTION AND TRUSS FABRICATION
- INSTALL SAFETY GLAZING IN LOCATIONS SPECIFIED BY LOCAL CODE.

CONTRACTOR TO PROVIDE "GRACE" ICE & WATER SHIELD AT ALL ROOF EAVES, PEAKS, VALLEYS & VERTICAL WALL INTERSECTIONS. SHEET SHALL EXTEND FROM EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. (RCO 905.2.7.1)

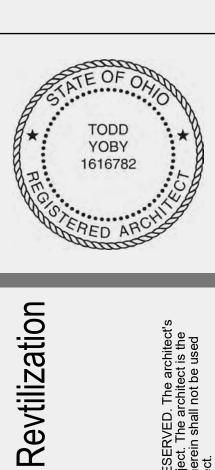
- SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATION AND INSTALLATION SPECIFICATIONS
- SEPARATE CIVIL ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE ADDITIONAL SITE 10. PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS. SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY GENERAL CONTRACTOR. 11
- 12. THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS. INCLUDING THE COPYRIGHT.
- 13. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD ANY DISCREPANCIES WILL BE 14 BROUGHT TO THE ATTENTION OF THE ARCHITECT. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL 15
- CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. IN FULL DEPTH MASONRY WALLS, EXPANSION JOINTS SHALL BE LOCATED IN FIELD BY MASON, MAX 16. DISTANCE 20'-"0 O.C. ON LONGER STRAIGHT CONTINUOUS WALLS.
- FLOOR SYSTEMS TO BE DESIGNED AT L/720 AT ALL TILE FLOOR LOCATION. COORDINATE WITH 17 ARCHITECT IF NOT CLEARLY INDICATED ON DRAWINGS.
- SMOKE ALARMS TO USE DUAL-TYPE DETECTION INCLUDING BOTH PHOTOELECTRIC AND IONIZATION 18. TECHNOLOGIES PER RCO SECTION 314.1.

Design Loads

- 1.) MIN. REQUIRED DESIGN LOADS: A.) FLOOR LIVE LOAD = 40 PSF; SNOW = 20 PSF B.) GARAGE FLOOR LIVE LOAD = 50 PSF C.) WIND LOAD = 115 MPH (3-SEC GUST) D.) SOIL BEARING CAPACITY = 1,500 PSF 2.) THE MAX ALLOWABLE LIVE LOAD DEFLECTION OR STRUCTURAL MEMBERS: A.) CONCRETE FLOORS = L/360
- B.) WALLS W/ MASONRY VENEER = L/240 C.) WALLS W/ SIDING = L/120 D.) ROOF TRUSSES (OR RAFTERS) = L/180
- E.) ALL OTHER STRUCTURAL MEMBERS = L/240
- 3.) MIN. COMPRESSIVE STRENGTH OF CONCRETE: A.) FOOTING/PIERS = 3,500 PSI B.) FOUNDATION WALLS = 3,500 PSI
- GARAGE FLOORS = 4,000 PSI

EXTERIOR WALKS & LANDINGS = 4,500 PSI ALL CONCRETE EXPOSED TO WEATHER OR SUBJECT TO FREEZING OR THAWING DURING CONSTRUCTION SHALL HAVE AIR ENTRAINMENT BETWEEN 5-7%.

4.) ALL RAFTERS, RIDGE BOARDS, RIDGE BEAMS, HEADERS, & CEILING JOISTS (OR CROSS TIES) SHALL BE MIN. NO. 2 GRADE SO. YELLOW PINE. ALL EXTERIOR WALL STUDS SHALL BE MIN. STUD GRADE SPF. 5.) ALL LUMBER IN DIRECT CONTACT WITH CONCRETE, MASONRY, OR IN PROXIMITY TO EXPOSED GROUND SHALL BE PRESSURE TREATED FOR EXTERIOR USE. ALL LUMBER IN DIRECT CONTACT WITH THE GROUND SUPPORTING DECK TO BE PRESSURE TREATED FOR GROUND CONTACT USE. 6.) ALL STRUCTURAL MEMBERS SHALL BE FULL LENGTH (NO SPLICES) OR SPLICES SHALL BE APPROVED & OCCUR AT ADEQUATE STRUCTURAL BEARING. 7.) ALL STRUCTURAL BOLTS SHALL BE A MIN 1/2" DIAM., CORROSION-RESISTANT, AND SHALL BE COMPATIBLE WITH THE SPECIFIC TYPE OF PRESSURE TREATED LUMBER BEING USED. 8.) ALL PRE-ENGINEERED STRUCTURAL WOOD CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & INSTALLATION INSTRUCTIONS (INCLUDING PROPER FASTENER TYPE AND SIZE). 9.) WOOD HEADERS WITH CLEAR SPANS OVER 6FT REQUIRE A MINIMUM (2) JACK STUDS & (1) KING STUD EACH SIDE.



I ARCHITECTS

bu

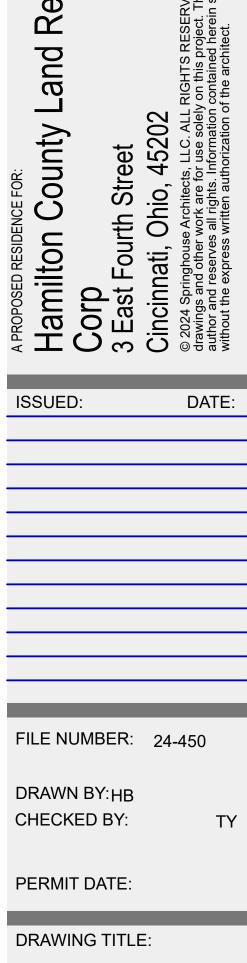
•

0

S

EAST STREET RINGBORO, OHI

205



Cover Sheet



RESIDENTIAL STRUCTURAL NOTES

FOUNDATIONS

- FOUNDATION ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES AND MAY VARY TO SUIT SUBSURFACE SOIL CONDITION. ELEVATION AND BEARING STRATA SHALL BE APPROVED PRIOR TO PLACING CONCRETE.
- ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL. DESIGN ALLOWABLE SOIL BEARING PRESSURE BELOW FOOTINGS = 1500 PSF.
- ALL FOOTINGS SHALL BE CONTINUOUS. SHALLOW FOOTINGS AT CRAWL SPACES AND OTHER STEPPED FOOTINGS SHALL STEP DOWN TO THE ELEVATION OF BASEMENT FOOTINGS AT A RATIO OF 2 FEET VERTICAL TO 4 FEET HORIZONTAL.
- THE FOLLOWING LATERAL SOIL PRESSURE PARAMETERS HAVE BEEN ASSUMED FOR THE **DESIGN OF FOUNDATIONS:**
- A. BASEMENT WALLS: 45 PCF EQUIVALENT FLUID PRESSURE, TRIANGULAR DISTRIBUTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND
- SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
- BACKFILL ALONG EXTERIOR FACE OF ALL PERIMETER FOOTINGS, AND ALONG EXTERIOR RETAINING TYPE WALLS SHALL BE A WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY UP TO WITHIN 12 INCHES OF THE FINISHED GRADE. TOP 12" OF BACKFILL SHALL BE COMPACTED CLAYEY MATERIAL. AT THE BOTTOM OF THE GRANULAR MATERIAL, PLACE A 4" DIAMETER SCHD. 35 PVC (MIN.) PERFORATED FOUNDATION DRAIN PIPE WITH POSITIVE DRAINAGE TO SUMP OR TO DAYLIGHT.
- APPLIED TECHNOLOGIES "HYDRA-GUARD" WATERPROOFING SYSTEM (OR RUB-R-WALL WATERPROOFING MEMBRANE SYSTEM) PLUS PROTECTION BOARD SHALL BE APPLIED ON ALL BASEMENT FOUNDATION WALLS AND FOOTINGS BELOW GRADE.
- CRAWL SPACES SHALL HAVE 6" OF PEA GRAVEL INSTALLED OVER 6 MIL VAPOR BARRIER.
- FINISHED GRADE SHALL SLOPE 6" IN THE FIRST 10' MINIMUM AWAY FROM THE PERIMETER FOUNDATION.

CONCRETE

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-99, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW, AND THE RECOMMENDED PRACTICE FOR **RESIDENTIAL CONCRETE CONSTRUCTION ACI-332R-84.**

2. MATERIALS:

- CONCRETE FOR INTERIOR SLAB ON GRADE: fc = 3500 PSI., NORMAL AGGREGATE.
- CONCRETE FOR EXTERIOR FLAT WORK, WALKS, GARAGE SLABS, ETC.: fc = 4500 PSI, (4.5% TO 7.5% ENTRAINED AIR). MINIMUM CEMENT CONTENT = 520 #/CY, MAXIMUM WATER / CEMENTITIOUS RATIO = 0.45. LIMIT POZZOLAN CONTENT PER ACI 301-99 TABLE 4.2.2.8.
- CONCRETE FOR FOUNDATION WALLS: fc = 3500 PSI, (5% TO 7% ENTRAINED AIR). С. MAXIMUM WATER / CEMENTITIOUS RATIO = 0.50.
- CONCRETE FOR FOOTINGS: f'c = 3000 PSI. D.

REINFORCING STEEL: ASTM A615 60 KSI YIELD DEFORMED BARS AND ASTM A185 MESH (SHEETS ONLY).

- ADMIXTURES: ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.
- IF CONCRETE ARRIVES AT THE SITE WITH A SLUMP BELOW THE SPECIFIED SLUMP AND IS 3 UNSUITABLE FOR PLACING AT THAT SLUMP, THE SLUMP MAY BE ADJUSTED ONCE ONLY BY ADDING WATER UP TO THE AMOUNT ALLOWED IN THE ACCEPTED MIXTURE PROPORTIONS. ADDITION OF WATER SHALL BE IN ACCORDANCE WITH ASTM C94. DO NOT EXCEED THE SPECIFIED WATER-CEMENTITIOUS MATERIAL RATIO OR SLUMP IN THE APPROVED MIX DESIGN. DO NOT ADD WATER TO CONCRETE DELIVERED IN EQUIPMENT NOT ACCEPTABLE FOR MIXING.
- WHEN THE AIR TEMPERATURE IS LESS THAN 40° F, THE TEMPERATURE OF THE CONCRETE SHALL BE MAINTAINED BETWEEN 50° AND 70°F FOR 7 DAYS.
- DURING HOT WEATHER, WHEN NECESSARY, PROVIDE FOR PROTECTIVE MEASURES IN ADVANCE OF PLACEMENT.
- AT CORNERS AND INTERSECTIONS OF WALLS AND GRADE BEAMS, PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNER AND/OR INTO ABUTTING WALL OR GRADE BEAM. BARS SHALL HAVE EMBEDMENT OF 30 DIAMETERS (18" MIN.).
- LAP SPLICE REINFORCING BARS AS FOLLOWS. LAP WELDED WIRE FABRIC MESH 12".

Horizontal bars with more than 12" of concrete below	All other Bars						
#3	23"	# 6	47"	#3	18"	#6	35"
#4	31"	#7	54"	#4	25"	#7	44"
#5	39"	#8	62"	#5	31"	#8	50"

- AT SLAB AND WALL OPENING CORNERS AND REENTRANT CORNERS, PROVIDE (1) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST EDGE OF OPENING. THIS STEEL MAY BE OMITTED IF TYPICAL SLAB OR WALL STEEL EXCEEDS THIS MINIMUM REQUIREMENT.
- ALL CAST-IN-PLACE CONCRETE WALLS SHALL BE PLACED CONTINUOUSLY WITH NO COLD JOINTS AND VIBRATED ADEQUATELY TO PREVENT AIR POCKETS. WHERE VERTICAL JOINT REQUIRED, CAST WALL FULL HEIGHT AND EXTEND HORIZONTAL REBAR 2'-0" BEYOND JOINT. WATERPROOF EXTERIOR FACE OF JOINT.
- BEAM POCKETS IN CONCRETE WALLS SHALL HAVE A HEIGHT 2" DEEPER THAN BEAM, BE 1" 10 WIDER THAN THE BEAM WIDTH, AND PROVIDE A MINIMUM 4" BEAM BEARING LENGTH. SOLID GROUT OR SOLID STEEL SHIMS SHALL BE PLACED BELOW BEAM BEARINGS.
- INTERIOR CONCRETE SLABS SHALL BE 4" THICK, WITH 6 MIL VAPOR BARRIER OVER 4" 11 MINIMUM CRUSHED GRANULAR COMPACTED BASE. PLACE CONTROL JOINTS IN INTERIOR SLABS AND EXTERIOR FLAT WORK AT 10' O.C. MAXIMUM EACH WAY WITH A MAXIMUM ASPECT RATIO OF 1.5:1. SLOPE TO DRAINS.

- 12. LIGHT BROOM FINISH AND ACRYLIC BASED CURING COMPOUND.
- 13. CUTTING WITHOUT RAVELING AT THE EDGES.
- ANCHOR BOLTS 7 INCHES IN CAST CONCRETE WALLS AND 13 INCHES IN GROUTED CONCRETE MASONRY CELLS.
- 15. 2'-0" BEYOND EDGES OF OPENINGS.
- 16 THE CONTRACTOR. (N.E.C. 250.50)

MECHANICAL FASTENERS

- 1. EXPANSION ANCHORS
- Α. PRIOR TO INSTALLATION.

ADHESIVE ANCHORS

- PRIOR TO INSTALLATION.
 - OF ADHESIVE.
 - EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS.
- 2. INSTALLATION.
 - RECOMMENDATIONS BEFORE INSTALLATION OF ADHESIVE.
 - В. EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS.
 - С. ANCHORS
- 3. EXCEEDED ON THE DATE OF INSTALLATION.
- 4.

STRUCTURAL STEEL

- EDITION.
- 2 THE SPAN.
- 3 INDICATED ON THE STRUCTURAL DRAWINGS.
- WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS D1.1:2002).
- 5. MATERIALS:
 - A. ROLLED SHAPES AND PLATES UNLESS NOTED: ASTM A-36 OR STRONGER.
 - B. ADJUSTABLE NON-TELESCOPING PIPE COLUMNS: ASTM A-513, 11 GAGE.
 - C. BOLTS: ASTM A307, 3/4" DIAMETER UNLESS NOTED. D. ANCHOR BOLTS:
 - **RESIDENTIAL STRUCTURAL NOTES**
 - 2. OTHER ANCHOR BOLTS: ASTM A36: 1/2" DIAMETER UNLESS NOTED.
 - E. STEEL COLUMNS REQUIRED TO BE SCHEDULE 40 MINIMUM.
 - F. FIELD WELDS: AWS E70xx, LOW HYDROGEN ELECTRODES

G. NON-SHRINK GROUT : ASTM C1107

- (i.e. RAMSET PINS) AT 16" ON CENTER. PRE-PUNCH TOP FLANGE FOR BOLT HOLES.
- AT CONCRETE BEARING. STEEL BEAMS SHALL BE SHIMMED WITH STEEL PLATES OR 7 NONSHRINK GROUT. ANCHOR TO WALL WITH TWO 1/2" DIAMETER ANCHOR BOLTS.

STEEL TROWEL FINISH FLOOR SLAB AND CURE USING "CURE AND SEAL" TYPE CURING COMPOUND MEETING FEDERAL SPECIFICATION TT-C-00800 VOC COMPLIANT, 30 % MINIMUM SOLIDS CONTENT. FOR EXTERIOR FLAT WORK APPLICATIONS EXPOSED TO SUNLIGHT USE

CONTROL JOINTS IN SLABS-ON-GRADE SHALL BE HAND TROWELED OR SAW CUT WITHIN 6 HOURS OF PLACING CONCRETE OR WHEN CONCRETE IS STRONG ENOUGH TO WITHSTAND

PROVIDE ½" DIAMETER HOT DIPPED GALVANIZED SILL PLATE ANCHOR BOLTS AT 32" O.C. MAXIMUM AND WITHIN 12" OF CORNERS UNLESS NOTED OTHERWISE ON DRAWINGS. EMBED

PROVIDE (2) #5 BARS 2" ABOVE ALL CONCRETE OPENINGS LESS THAN 5' WIDE. EXTEND BARS

THE NATIONAL ELECTRICAL CODE REQUIRES THAT THE BUILDING ELECTRICAL SYSTEM SHALL BE GROUNDED TO REINFORCING STEEL IN THE CONCRETE FOOTING. THE WORK ASSOCIATED WITH THIS REQUIREMENT AND THE METHOD USED SHALL BE COORDINATED BY

EXPANSION ANCHORS SHALL BE MANUFACTURED BY HILTI AND SHALL BE THE SIZE, AND EMBEDMENT INDICATED ON DRAWINGS. EXPANSION ANCHORS SHALL BE HLC SLEEVE ANCHORS WHEN EMBEDDED INTO MASONRY AND KWIK BOLT 3 WHEN EMBEDDED INTO CONCRETE, UNLESS OTHERWISE NOTED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA

ANCHORAGE TO CONCRETE: HILTI "HIT RE 500" EPOXY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA

HOLES MAY BE DIAMOND CORED OR DRILLED WITH CONVENTIONAL HAMMER DRILL HOLES SHALL BE BRUSHED AND BLOWN FREE OF ALL DELETERIOUS MATERIAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS BEFORE INSTALLATION

STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" STANDARD RODS. SIZE AND

ANCHORAGE TO SOLID GROUTED CONCRETE MASONRY UNITS: HILTI "HIT HY 150 MAX". SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO

DRILL HOLES WITH A CARBIDE TIPPED DRILL BIT AND CONVENTIONAL HAMMER DRILL. CORE DRILLING IS NOT ACCEPTABLE. HOLES TO BE BRUSHED AND BLOWN FREE OF ALL DELETERIOUS MATERIAL IN ACCORDANCE WITH MANUFACTURER'S

STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" RODS. SIZE AND

FOR TEMPERATURES BETWEEN 40° F AND -10° F, USE HILTI HIT-ICE ADHESIVE

CONTRACTOR SHALL VERIFY THAT THE SHELF LIFE OF THE ADHESIVE HAS NOT BEEN

FOR CONNECTIONS TO EXISTING REINFORCED CONCRETE OR MASONRY, VERIFY THE LOCATIONS OF THE EXISTING REINFORCING BARS USING A REBAR DETECTOR, PRIOR TO DRILLING. NOTIFY THE ENGINEER PRIOR TO INSTALLATION IF ANCHOR LOCATIONS CONFLICT WITH EXISTING REINFORCING BARS. DO NOT DRILL THROUGH EXISTING REINFORCING BARS.

ALL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO AISC SPECIFICATIONS FOR "DESIGN. FABRICATION. AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST

FABRICATOR IS RESPONSIBLE FOR DESIGN OF CONNECTIONS. UNLESS SPECIFIC END MOMENTS AND REACTIONS ARE INDICATED ON DRAWINGS, DESIGN AND FABRICATE CONNECTIONS TO RESIST THE MAXIMUM UNIFORM LOAD CAPACITY OF THE MEMBER FOR

FIELD CONNECTIONS SHALL BE BOLTED EXCEPT WHERE WELDED CONNECTIONS ARE

1. ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS: SEE WOOD SECTION OF

PROVIDE A 2X WOOD PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 2'-0" O.C. OR 3/16" DIAMETER POWDER DRIVEN FASTENERS

<u>WOOD</u>

1. MATERIALS:

FRAMING LUMBER:

1. 2 x 8 AND LARGER: NO. 2 GRADE OR BETTER SOUTHERN PINE KILN DRIED.

2. 2 x 4 AND 2 x 6: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.

3. 4 x 4 AND 6 x 6: NO. 2 GRADE OR BETTER PRESSURE TREATED SOUTHERN PINE.

4. PRESSURE TREATED LUMBER: NO. 2 GRADE OR BETTER SOUTHERN PINE WITH ACQ (ALKALINE COPPER QUAT), CBA-A, CA-B (COPPER AZOLE), OR BORATE PRESSURE TREATED LUMBER (SILL PLATES ONLY): PRESSURE TREAT TO AWPA USE CATEGORY UC2 FOR SILL PLATES; UC3B FOR ABOVE GROUND EXTERIOR DECKING, STAIRS, RAILINGS, ETC.; AND UC4A FOR GROUND CONTACT.

B. SHEATHING & SUBFLOORING:

1. MATERIALS:

FLOOR SHEATHING: 23/32" STURD-I-FLOOR APA SPAN RATING 48/24 TONGUE & GROOVE SUBFLOOR EXPOSURE 1. ORIENTED STRAND BOARD IS NOT PERMITTED TO BE USED BELOW THINSET CERAMIC TILE OR MARBLE FLOOR FINISHES.

FLOOR SHEATHING: 23/32" ADVANTECH SPAN RATING 48/24 TONGUE & GROOVE SUBFLOOR MANUFACTURED BY HUBER ENGINEERED WOODS.

ROOF SHEATHING: 19/32" APA SPAN RATING 40/20 ROOF SHEATHING EXPOSURE 1. INSTALL PANEL CLIP THAT PRODUCES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/RAFTER SPACE ALONG UNSUPPORTED SHEATHING EDGES.

OR

ROOF SHEATHING: 1/2" ZIP SYSTEM ROOF SPAN RATING 40/20 MANUFACTURED BY HUBER ENGINEERED WOODS. INSTALL PANEL CLIP THAT CREATES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/RAFTER SPACE ALONG UNSUPPORTED SHEATHING EDGES.

- WALL SHEATHING: 7/16" APA SPAN RATING 24/16 WALL SHEATHING EXPOSURE C.
- CONNECTIONS: ALL SHEATHING SHALL BE NAILED TO WOOD FRAMING WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES, 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED **OTHERWISE**
- ADHESIVE FOR GLUED AND NAILED PLYWOOD SUBFLOORING: SHALL CONFORM TO PERFORMANCE SPECIFICATION AFG-01 DEVELOPED BY APA.
- LVL (LAMINATED VENEER LUMBER) BEAMS: DISTRIBUTED AS MICRO-LAM LVL, GANGLAM LVL AND TIMBER MAX LVL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LVL BEAMS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:
 - 1. Fb = 2600 PSI BENDING
 - 2. Fv = 285 PSI HORIZONTAL SHEAR
 - Fc⊥ = 750 PSI COMPRESSION PERPENDICULAR TO GRAIN
 - 4. E = 1,900,000 PSI MODULUS OF ELASTICITY OR

PSL (PARALLEL STRAND LUMBER) BEAMS AND COLUMNS: DISTRIBUTED AS PARALLAM. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PSL BEAMS AND COLUMNS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:

1. BEAMS: a. Fb = 2900 PSI BENDING

- b. Fv = 290 PSI HORIZONTAL SHEAR
- c. Fc = 2900 PSI COMPRESSION PARALLEL TO GRAIN
- Fc.1 = 650 PSI COMPRESSION PERPENDICULAR TO GRAIN
- e. E = 2,000,000 PSI MODULUS OF ELASTICITY

2. COLUMNS:

- a. Fb = 2400 PSI BENDING
- b. Fv = 190 PSI HORIZONTAL SHEAR
- Fc = 2500 PSI COMPRESSION PARALLEL TO GRAIN
- Fc⊥ = 425 PSI COMPRESSION PERPENDICULAR TO GRAIN
- e. E = 1,800,000 PSI MODULUS OF ELASTICITY
- PSL MEMBERS EXPOSED TO WEATHER OR HIGH MOISTURE SHALL BE CBA-A OR CA-B TREATED TO RETENTION LEVELS OF .20 LBS/FT³ w/ CBA-A OR .10 LBS/FT³ w/ CA-B FOR BEAMS AND .41 LBS/FT³ w/ CBA-A OR .21 LBS/FT³ w/ CA-B FOR COLUMNS. CONNECTORS FOR CBA-A OR CA-B TREATED BEAM MEMBERS SHALL BE HOT DIP GALVANIZED. CONNECTORS FOR CBA-A OR CA-B TREATED COLUMN MEMBERS SHALL BE STAINLESS STEEL TYPE 316.
- WOOD TRUSSES:

3

METAL PLATE CONNECTED WOOD TRUSSES SHALL BE FABRICATED BY A MANUFACTURER CERTIFIED UNDER THE TRUSS PLATE INSTITUTE NER-QA 430 QUALITY ASSURANCE PROGRAM.

- 2. ALL WORK TO CONFORM TO THE "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" (ANSI/TPI 1-2002) BY THE TRUSS PLATE INSTITUTE, INC.
- UNLESS NOTED OTHERWISE, ALL TRUSSES SHALL BE DESIGNED FOR THE LOADS AS SHOWN IN THE DESIGN LOAD SECTION OF THESE NOTES.
- SHOP DRAWINGS ARE REQUIRED AND SHALL BEAR THE DESIGNERS ENGINEERING SEAL FROM THE STATE THE PROJECT OCCURS. PER IRC 802.10, SHOP DRAWINGS SHALL INCLUDE ALL DESIGN AND FABRICATION DATA, TEMPORARY AND PERMENANT BRACING REQUIREMENTS (CLEARLY SHOWING PERMANENT BRACING REQUIREMENTS FOR WEB COMPRESSION AND BOTTOM CHORD MEMBERS), HANDLING AND ERECTION INSTRUCTIONS, ALL FIELDCONNECTION REQUIREMENTS, AND AN ERECTION PLAN LOCATING ALL TRUSSES. WOOD TRUSSES SHALL NOT BE FABRICATED UNTIL SHOP DRAWINGS ARE APPROVED BY ARCHITECT/ENGINEER.
- LAP SPLICE PERMANENT TRUSS BRACING A MINIMUM OF ONE TRUSS SPACE.
- FABRICATOR SHALL DESIGN ALL TRUSS TO TRUSS AND/OR TRUSS TO BEAM CONNECTIONS AND SHALL SPECIFY THE PROPER SIZED HANGER ON THE SHOP DRAWINGS.
- ALL TRUSSES UNDER 60' LONG SHALL BE BRACED DURING ERECTION PER "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES", BCSI-B1 SUMMARY SHEET BY THE TRUSS PLATE INSTITUTE, UNLESS MORE STRICT BRACING IS REQUIRED BY THE TRUSS MANUFACTURER. TRUSSES OVER 60' LONG SHALL HAVE TEMPORARY BRACING DESIGNED BY A PROFESSIONAL ENGINEER WHO IS REGISTERED IN THE STATE THE

PROJECT OCCURS, AND SHALL HAVE DRAWINGS SUBMITTED, BEARING THE DESIGNER'S SEAL, SHOWING THE DETAILS OF THE TEMPORARY BRACING. THIS BRACING SHALL REMAIN AS PERMANENT BRACING. BRACING IN THE PLANE OF THE TOP CHORD MAY BE REMOVED WHEN THE TOP CHORD IS LATERALLY BRACED BY PLYWOOD SHEATHING.

- AT EXTERIOR GABLE ENDS:
 - PROVIDE 2 X 4 X 10' LONG HORIZONTAL BRACES PERPENDICULAR TO GABLE END WALL AT 4' ON CENTER. NAIL BRACES TO GABLE END AND TO TOP OF THE BOTTOM CHORDS OF EACH TRUSS WITH (2)-10d NAILS.
 - TOENAIL GABLE END TRUSS TO TOP PLATE OF STUD WALL WITH 10d TOENAILS AT 16" ON CENTER.
 - BRACE NAILING STUDS IN GABLE END TRUSS PER MANUFACTURER'S C. DRAWINGS.
- GABLE END TRUSSES SHALL NOT BE TALLER THAN 8'-9". GREATER THAN 8'-9" HIGH SHALL UTILIZE SLOPED STUD WALLS FOLLOWING THE PROFILE OF THE TRUSSES.

10. DESIGN WOOD TRUSSES TO BEAR ON THE EXTERIOR WALL UNLESS INDICATED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.

FASTENERS: 1. BOLTS:

G.

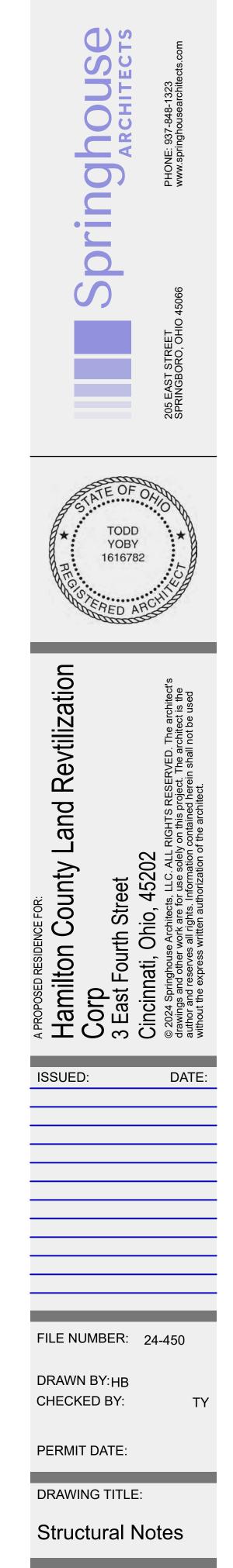
- ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS (WITH THE EXCEPTION OF BORATE TREATED): (1) STAINLESS STEEL TYPE 304 OR 316. -OR-(2) HOT DIP GALVANIZED PER ASTM A123: ASTM A36, ASTM A307, OR ASTM F1554 GRADE 36. OTHER BOLTS: ASTM A307. PROVIDE STANDARD CUT WASHER BETWEEN BOTH HEAD AND NUT TO WOOD CONNECTION. 2. NAILS: 8d COMMON= 0.131"" DIA, 2 ½"" LG. 10d COMMON= 0.148"" DIA, 3"" LG. 16d COMMON= 0.162"" DIA, 3 1/2"" LG 3. WOOD SCREWS: c. #8= 0.164"" DIA. d. #10= 0.19"" DIA. e. #12= 0.216"" DIA
- 4. LAG SCREWS:
- f. PROVIDE STANDARD WASHER BETWEEN HEAD TO WOOD CONNECTION. e. PREBORE HOLES PRIOR TO INSTALLATION.
- UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE MADE PER TABLE 602.3a(1), "FASTENING SCHEDULE FOR STRUCTURAL MEMBERS", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
- ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED. 3.
- AT BOLTED 2x LEDGERS, PROVIDE NO LESS THAN 2" CLR. FROM CENTER OF BOLT TO TOP AND BOTTOM OF LEDGER.
- ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.
- SIMPSON CONNECTORS USED IN ALL APPLICATIONS WITH ACQ-C, ACQ-D, CBA-A, OR CA-B, OR NON-DOT BORATE TREATED LUMBER SHALL BE ZMAX (G185) OR HOT DIPPED GALVANIZED. G60 AND G90 COATED PRODUCTS ARE NOT ALLOWED FOR APPLICATIONS WITH TREATED LUMBER. G90 CAN BE USED WITH BORATE TREATED LUMBER IN INTERIOR-DRY APPLICATIONS. ONLY USE GALVANIZED FASTENERS WITH ZMAX AND HOT DIP GALVANIZED CONNECTORS. AT OWNER''S OPTION, STAINLESS STEEL TYPE 304 OR TYPE 316L WITH STAINLESS STEEL FASTENERS CAN BE USED TO INCREASE LIFE EXPECTANCY OF THE CONNECTOR. STAINLESS STEEL CONNECTORS SHOULD BE USED FOR LUMBER WITH CHEMICAL RETENTION LEVELS GREATER THAN 0.40 PCF FOR ACQ, 0.41 PCF FOR CBA-A, OR 0.21 PCF FOR CA-B.
- FOR WOOD ROOF RAFTERS AND TRUSSES, INSTALL SIMPSON H2.5A HURRICANE TIE AT EACH MEMBER AT EACH BEARING LOCATION IN ADDITION TO THE TYPICAL NAILING REQUIREMENT IN THE ""FASTENING SCHEDULE"". 8. BRIDGING IN ALL FLOOR AND CEILING JOISTS SHALL BE 1" X 3" CROSS BRIDGING (DOUBLE NAILED) AT 8'-0" O.C. MAXIMUM. STEEL CROSS BRIDGING IS AN ACCEPTABLE ALTERNATE.

AT FIRST FLOOR JOISTS THAT ARE PARALLEL TO THE BASEMENT FOUNDATION WALL. PROVIDE FULL DEPTH SOLID BLOCKING AT ANCHOR BOLT SPACING BETWEEN THE RIM JOIST AND THE FIRST (2) INTERIOR JOIST SPACES. NAIL SHEATHING TO EACH BLOCK WITH FOUR 10d NAILS.

- 10. WALL STUDS SHALL LINE UP WITH FLOOR JOISTS OF FLOORS ABOVE AND BELOW.
- PROVIDE DOUBLE RIM JOIST WHERE FRAMING RUNS PARALLEL TO FOUNDATION OR 11 STUD WALL.
- 12. PROVIDE A STUD AT ALL TOP PLATE SPLICE LOCATIONS.
- PROVIDE DOUBLE JOISTS IN FLOOR CONSTRUCTION BELOW ALL INTERIOR 13. PARTITIONS THAT RUN PARALLEL WITH THE JOISTS (SPREAD JOISTS AS NECESSARY TO ACCOMMODATE PLUMBING).
- 14. FOR BUILT UP FREE STANDING COLUMNS, USE THE FOLLOWING NAILING PATTERNS: (2) 2X410d NAILS AT 6"" O.C. STAGGERED FRONT TO BACK, SET NAILS 1"" FROM EDGE; (3) 2X4-30d NAILS AT 8"" O.C. STAGGERED FRONT TO BACK, SET NAILS 1 1/2"" FROM EDGE; (3) 2X6- TWO ROWS OF 30d NAILS AT 8" O.C. STAGGERED SIDE TO SIDE AND FRONT TO BACK, SET NAILS 11/2"" FROM EDGE.
- NOTCHES IN EXTERIOR WALL OR INTERIOR BEARING WALL STUDS ARE NOT TO 15 EXCEED ONEFOURTH OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 40% OF THE STUD WIDTH OR WITHIN 5/8" OF STUD EDGE.
- NOTCHES IN FLOOR JOISTS AND ROOF RAFTERS SHALL NOT BE LOCATED IN THE 16 MIDDLE ONE-THIRD OF THE SPAN. DEPTH OF NOTCHES IN THE TOP OR BOTTOM OF THE MEMBER ARE NOT TO EXCEED ONE-SIXTH OF THE MEMBER DEPTH, AND LENGTH SHALL NOT EXCEED ONETHIRD OF MEMBER DEPTH. HOLES SHALL NOT BE BORED LARGER THAN ONE-THIRD OF THE MEMBER DEPTH, OR WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE MEMBER, OR WITHIN TWO FEET OF BEARING. NO HOLES OR NOTCHES ARE ALLOWED IN BEAMS UNLESS APPROVED BY ARCHITECT/ENGINEER.
- 17 WHERE CONCENTRATED LOADS FROM BEAMS, GIRDER TRUSSES, ETC. BEAR ON STUD WALLS, PROVIDE THE NUMBER OF STUDS NECESSARY TO SUPPORT THE FULL WIDTH OF THE BEARING MEMBER, UNLESS NOTED OTHERWISE. THE REQUIRED NUMBER OF SUPPORTING STUDS SHALL CONTINUE FOR THE FULL HEIGHT OF WALL BELOW THE CONCENTRATED LOAD, WITH CONTINUOUS BLOCKING THRU FLOOR FRAMING AT EACH FLOOR LEVEL, DOWN TO SOLID BEARING ON FOUNDATION WALL SILL PLATE OR

INTERIOR STEEL OR WOOD BEAM.

- MINIMUM BEARING STUD & FULL HEIGHT STUD REQUIREMENTS FOR SUPPORT OF 18 HEADERS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS:
 - HEADER SPAN 6"-0"" OR LESS: MINIMUM (1) 2x BEARING STUD NAILED TO (1) Α. FULL HEIGHT STUD WITH 10d NAILS AT 24"" O.C.
 - HEADER SPAN GREATER THAN 6"-0"": MINIMUM (2) 2x BEARING STUDS NAILED TO (1) FULL HEIGHT STUD WITH 10d NAILS AT 24³⁹ O.C., UNLESS OTHERWISE.
- 19. ALL MULTIPLE HEADERS AND BEAMS WITH DEPTH LESS THAN 14 INCHES SHALL BE FASTENED TOGETHER WITH MINIMUM (3) ROWS OF 10d COMMON NAILS AT 12" O.C., STAGGERED ON OPPOSITE SIDES. FOR DEPTHS EQUAL TO OR GREATER THAN 14 INCHES, FASTEN TOGETHER WITH (4) ROWS OF 10d NAILS AT 12""O.C. FOR FOUR OR MORE PLY BEAMS, THRU-BOLT WITH 1/2" DIAMETER BOLTS AT 12" O.C. STAGGERED TOP AND BOTTOM. ALL SIDE LOADED BEAMS SHALL BE THRU-BOLTED.
- 20. SHEATH ALL EXTERIOR WALLS WITH APA RATED WALL SHEATHING.





GENERAL NOTES

1) - EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETED 2) - NO SMOKING ALLOWED IN BUILDING AT ANY TIME.

3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY TI COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ONSITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MA NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.

4) - ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOF OVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALL 5) - CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MU ÚSE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.

6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.

7) - CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.

8) - ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S RERESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

9) - FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY ÓWNER WALK THROUGHS.

10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AN ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS' AND SUBCONTRACTORS'RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

1) - FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.

2) - STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.

3) - PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.

4) - IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 12"

5) - INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

1) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.

2) - ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.

3) - SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION. 4) - PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

PER RCO 314.3 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL. B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM. C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO

PER RCO 315.1

314.3

A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM. 5) EGRESS WINDOW REQUIREMENTS OPENING > 5.7 SQ FT

OPENING WIDITH > 24" OPENING HEIGHT > 20" MAX DISTANCE FROM THE FLOOR: 44"

6) SAFTEY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.

- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.

- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANES GREATER THAN 9 SF.

Window Schedule							
ID	Unit Dimensions	Operation	Tempered	Remarks			
W-01	3'-0"×5'-0"	Double Hung					
W-02	2'-8"×4'-0"	Double Hung					
W-03	2'-0"×3'-0"	Double Hung					
W-04	3'-0"×5'-0"	Double Hung					

408.3 UNVENTED CRAWL SPACE

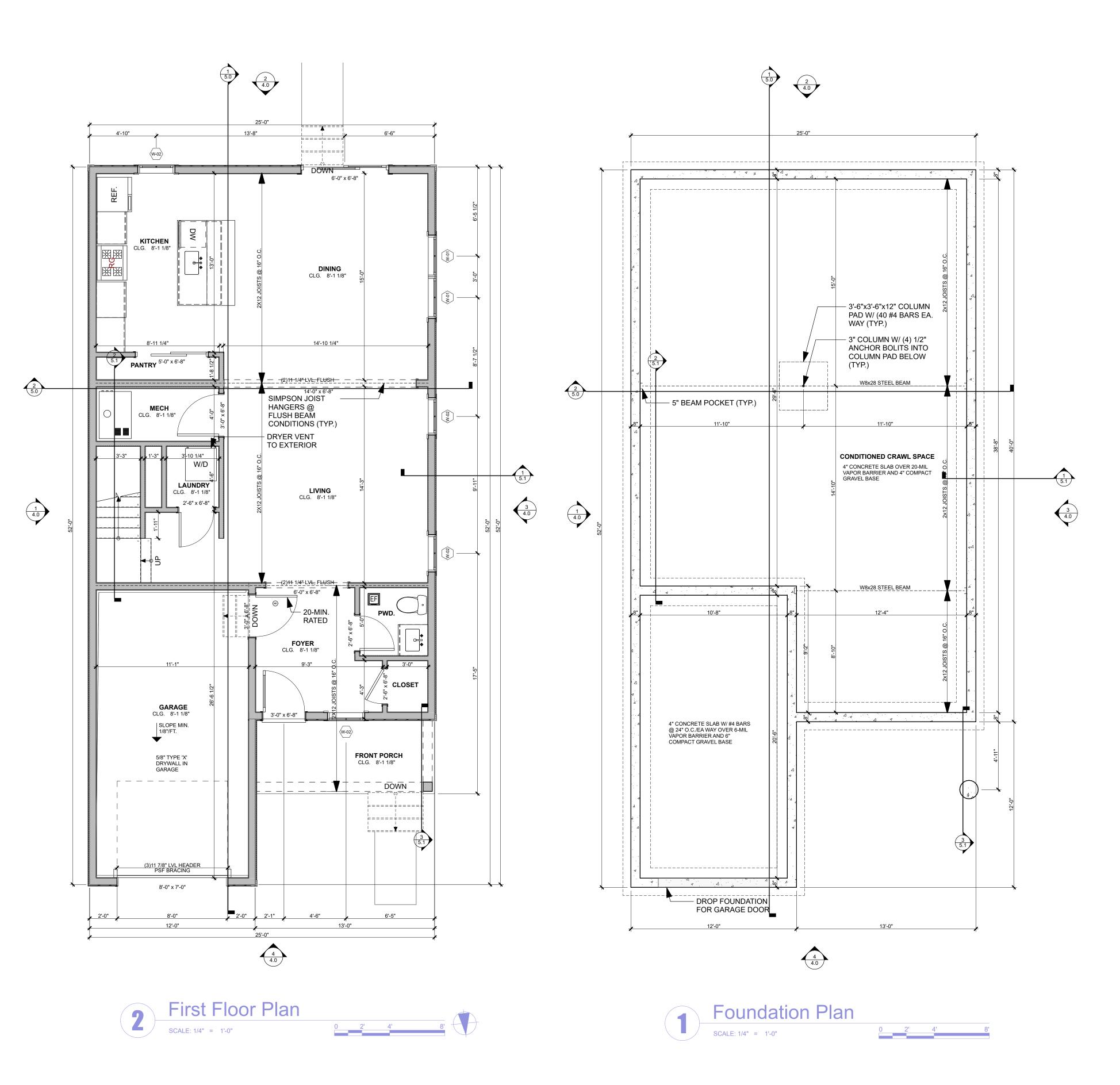
FORCED AIR REGISTER TO DELIVER SUPPLY AIR FROM FURNACE OR AIR HANDLER TO CRAWL SPACE @ MIN. 1 CFM/MIN PER 50 SF OF UNDER-FLOOR AREA INCLUDING RETURN AIR PATHWAY

FOUNDATION NOTES

1. FOUNDATION SYSTEM DESIGN IS BASED ON A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3,000 PSI IN THE FOOTINGS. IF A LOWER STRENGTH CONCRETE WILL BE USED, NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION, SO THAT THE REINFORCING STEEL SIZE AND/OR SPACING CAN BE ADJUSTED TO SUIT THE CONCRETE STRENGTH.

2. FOOTING DESIGNS ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF MINIMUM.

3. CONTINUOUS FOOTING TO BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL DESIGNED BY CIVIL ENGINEER AND TESTED BY GEO-TECHNICAL ENGINEER. IT IS CONTRACTOR'S RESPONSIBILITY TO OVERSEE AND ENSURE ALL BEARING LOCATIONS MEET THESE REQUIREMENTS. ANY CHANGES MADE IN THE FIELD SHOULD BE CONSULTED WITH THE ARCHITECT.



WALL BRACING

WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED/ ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W.S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS w/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 8D COMMON NAILS (0.131" x 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWING. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

Area Schedule	
LEVEL	Area (SF)
FIRST FLOOR	892
GARAGE	220
SECOND FLOOR	883
	1,995 ft ²

Spring Dougo AuticutSpring Dougo AuticutSpring Dougo AuticutSpring Dougo AuticutSpring Dougo AuticutString Dougo AuticutString Dougo AuticutString Dougo Auticut
TODD YOBY 1616782
A PROPOSED RESIDENCE FOR: Hamilton County Land Revtilization Corp Corp Seat Fourth Street 3 East Fourth Street Cincinnati , Ohio, 45202 © 2024 Springhouse Architects, LLC. ALL RIGHTS RESERVED. The architect's drawings and other work are for use solely on this project. The architect is the author and reserves all rights. Information contained herein shall not be used without the express written authorization of the architect.
FILE NUMBER: 24-450 DRAWN BY: HB CHECKED BY: TY PERMIT DATE: DRAWING TITLE: Foundation & First Floor Plans

WALL BRACING

WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED/ ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W.S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS w/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 8D COMMON NAILS (0.131" x 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWING. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

GENERAL NOTES

1) - EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETED 2) - NO SMOKING ALLOWED IN BUILDING AT ANY TIME.

3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY TI COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ONSITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MA NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.

4) - ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOF ÓVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALL 5) - CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MU ÚSE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.

6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.

7) - CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.

8) - ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S RERESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

9) - FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY ÓWNER WALK THROUGHS.

10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AN ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS' AND SUBCONTRACTORS'RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

1) - FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.

2) - STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.

3) - PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.

4) - IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 12"

5) - INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

1) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.

2) - ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.

3) - SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION. 4) - PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

PER RCO 314.3 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL. B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM. C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO

PER RCO 315.1

314.3

A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS OR IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM. 5) EGRESS WINDOW REQUIREMENTS OPENING > 5.7 SQ FT

OPENING WIDITH > 24" OPENING HEIGHT > 20" MAX DISTANCE FROM THE FLOOR: 44"

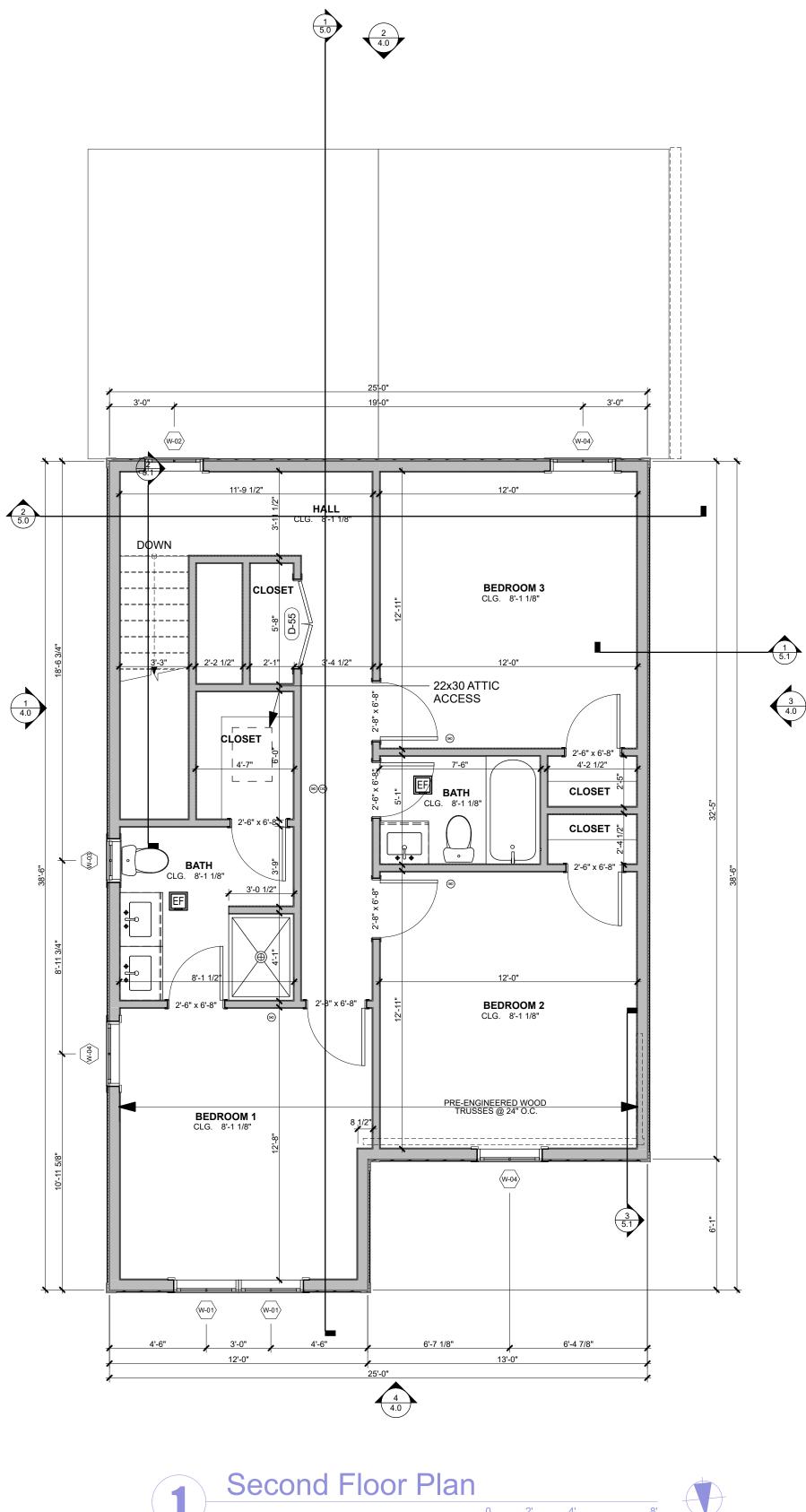
6) SAFTEY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

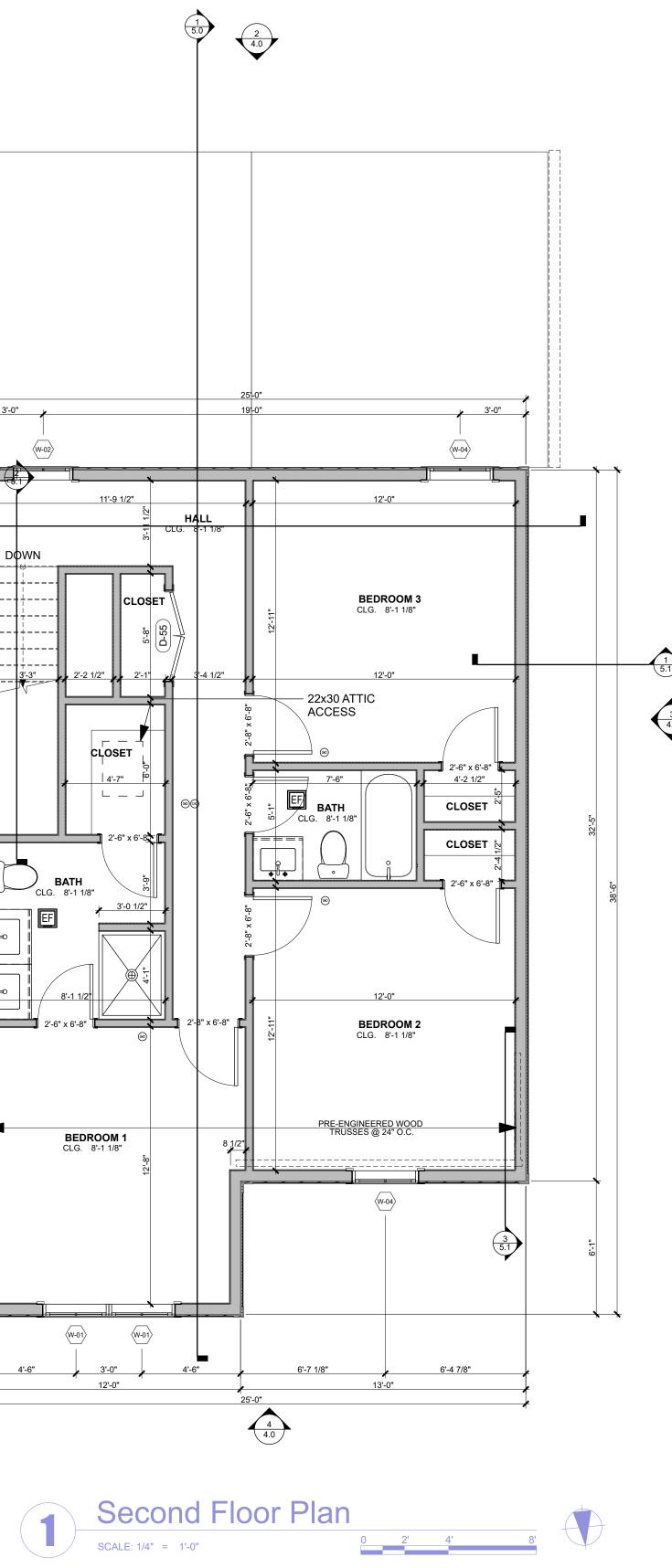
- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.

- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.

- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANES GREATER THAN 9 SF.

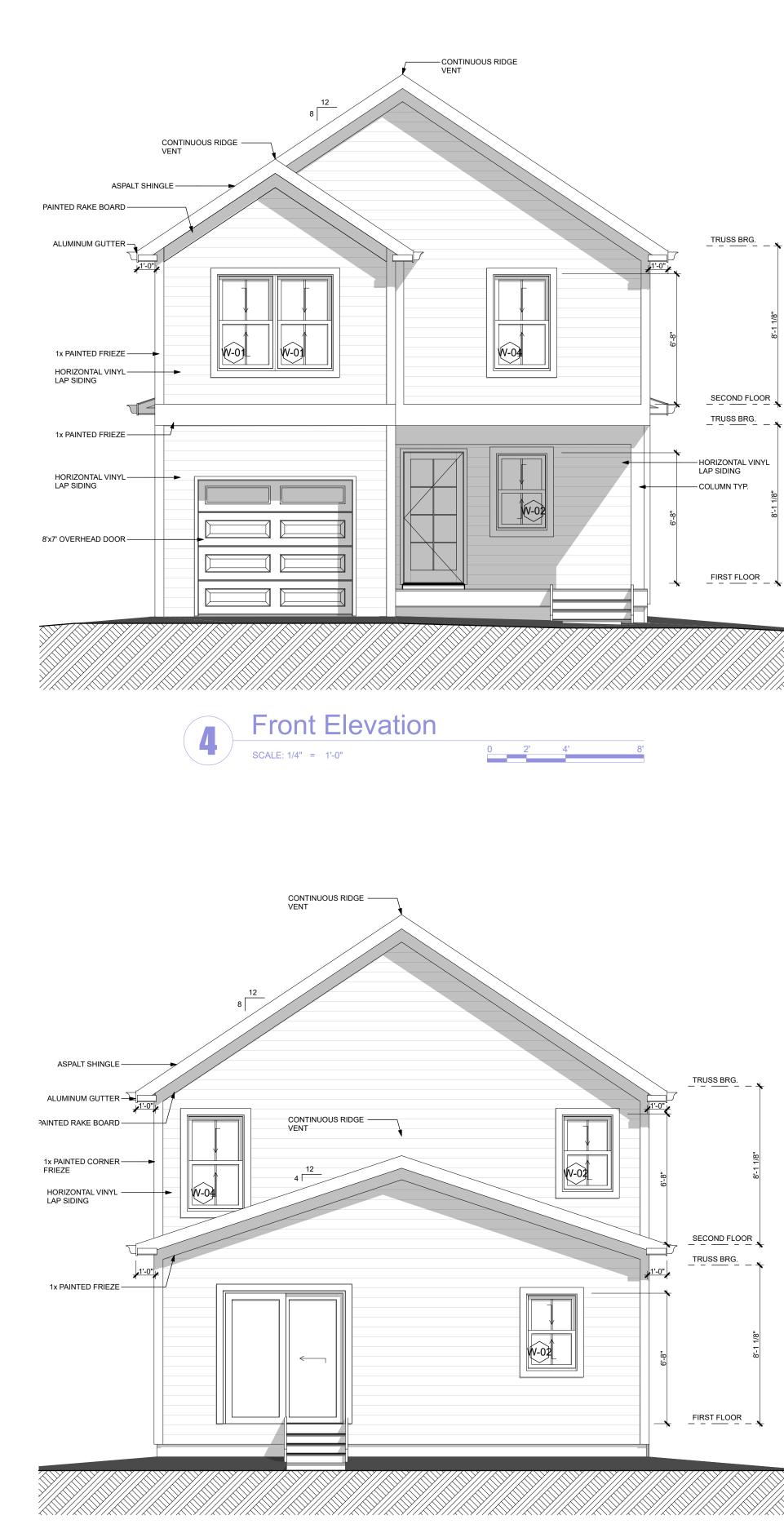
Window Schedule						
ID	Unit Dimensions	Operation	Tempered	Remarks		
W-01	3'-0"×5'-0"	Double Hung				
W-02	2'-8"×4'-0"	Double Hung				
W-03	2'-0"×3'-0"	Double Hung				
W-04	3'-0"×5'-0"	Double Hung				





Area (SF)
892
220
883
1,995 ft ²

ty Land Revtilization th th 202 202 202 202 202 202 202 202 202 20
TODD YOBY 1616782
ARC STERED ARCHING
RVED. The architect's the architect is the used
A PROPOSED RESIDENCE FOR: Hamilton County Land Revtilizatio Pamilton County Land Revtilizatio Corp Corp 3 East Fourth Street 3 East Fourth Street 3 East Fourth Street 5 Corp 5 Corp
FILE NUMBER: 24-450
DRAWN BY:HB CHECKED BY: TY PERMIT DATE:
DRAWING TITLE: Second Floor Plan



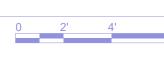


Rear Elevation SCALE: 1/4" = 1'-0"









Exterior Elevation General Notes

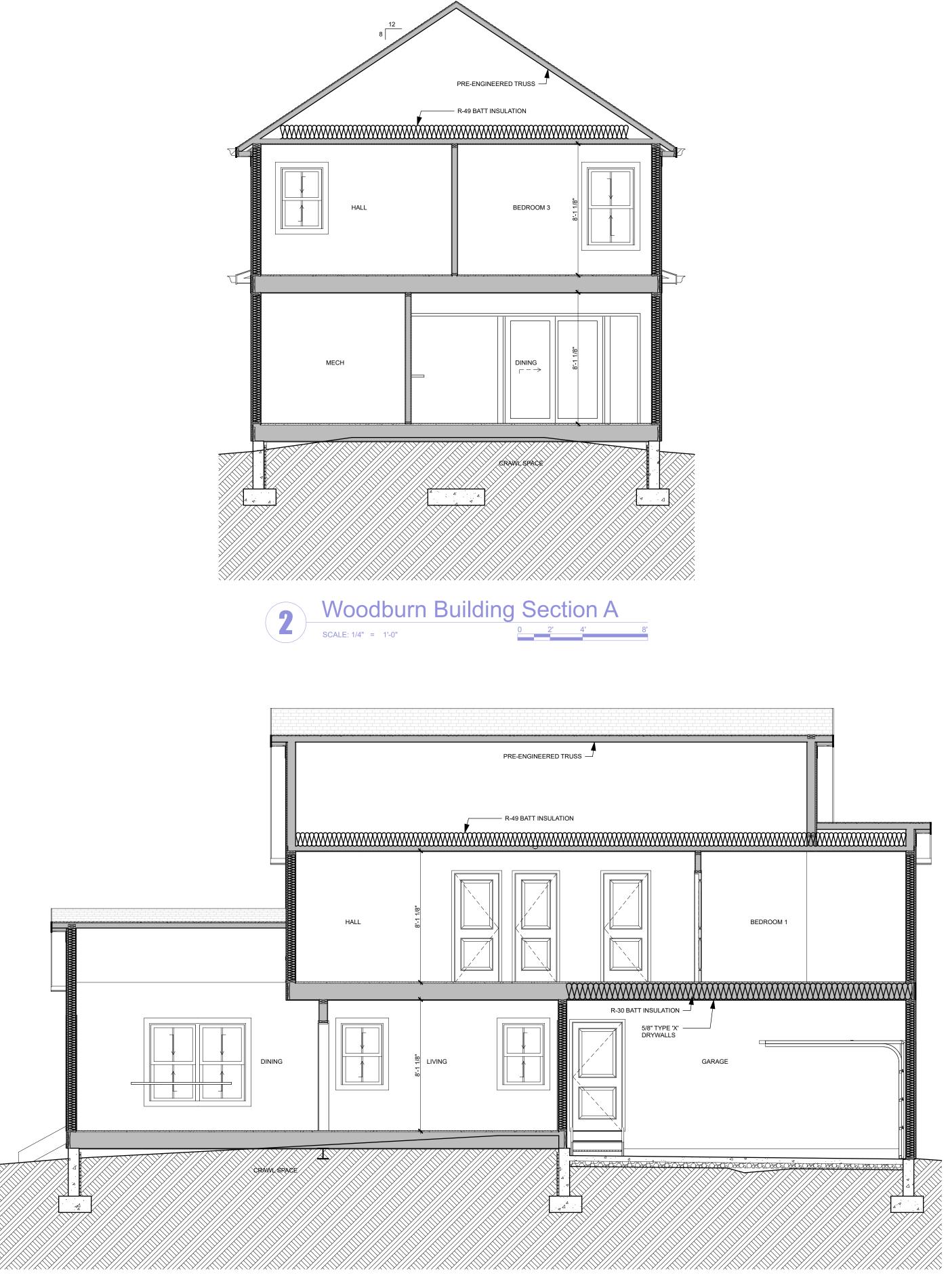
1) - VERIFY IN FIELD ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. 2) - ALL METAL COPING, METAL FASCIA, METAL FLASHING, ROOF ACCESSORIES, LOUVERS, SHALL BE PREFINISHED UNLESS NOTED OTHERWISE. 3) - REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO FINISH PAVEMENT AND FINISH GRADE ELEVATIONS.

5) - REFER TO WALL SECTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIAL, ETC.

6) - DIMENSIONS SHOWN ARE FOR EASE OF TAKE-OFF ONLY. BIDDERS TO VERIFY QUANTITIES.











Building Sections

DRAWING TITLE:

PERMIT DATE:

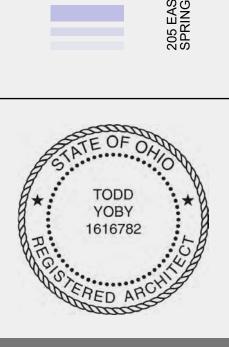
DRAWN BY:HB CHECKED BY:

ΤY

FILE NUMBER: 24-450

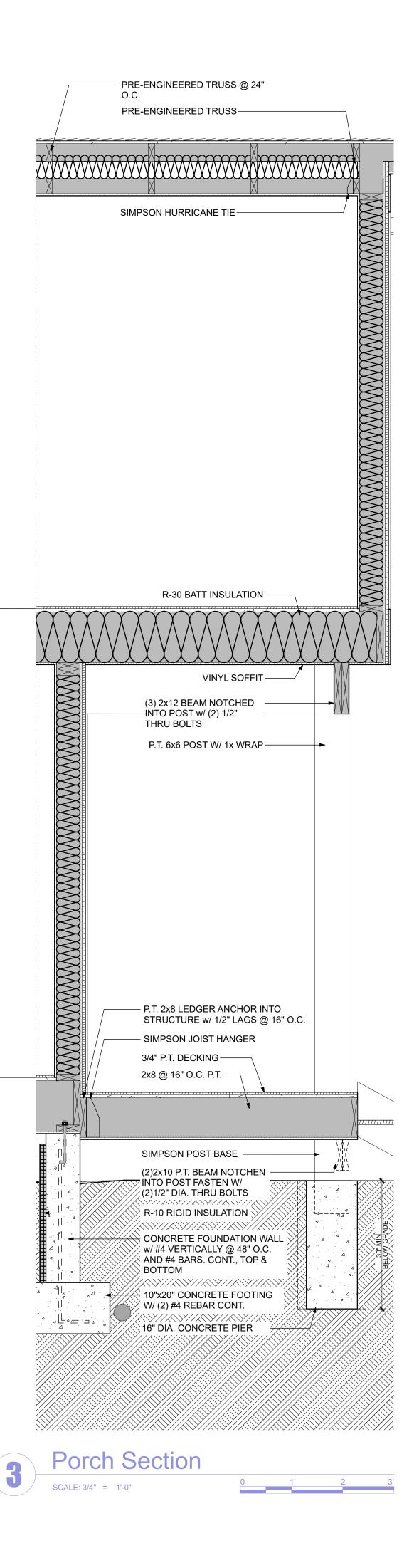
A PROPOSED RESIDENCE FOR: Hamilton County I Corp 3 East Fourth Street Cincinnati, Ohio, 45202 © 2024 Springhouse Architects, LLC. ALL drawings and other work are for use solely author and reserves all rights. Information without the express written authorization o ISSUED: DATE:

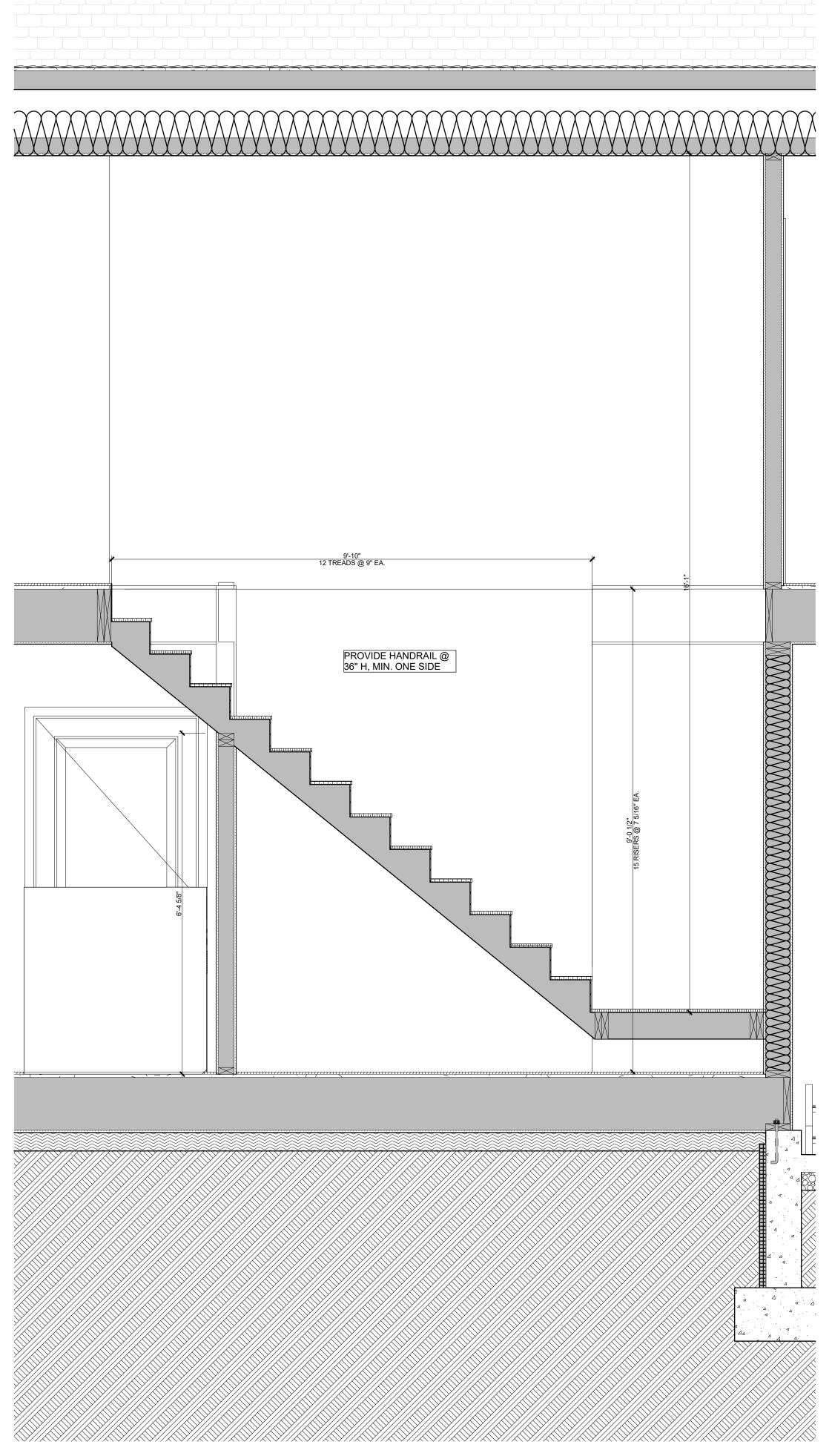
Land Revtilization RESERVED. The architect' roject. The architect is the herein shall not be used



205 EAST STREET SPRINGBORO, OH

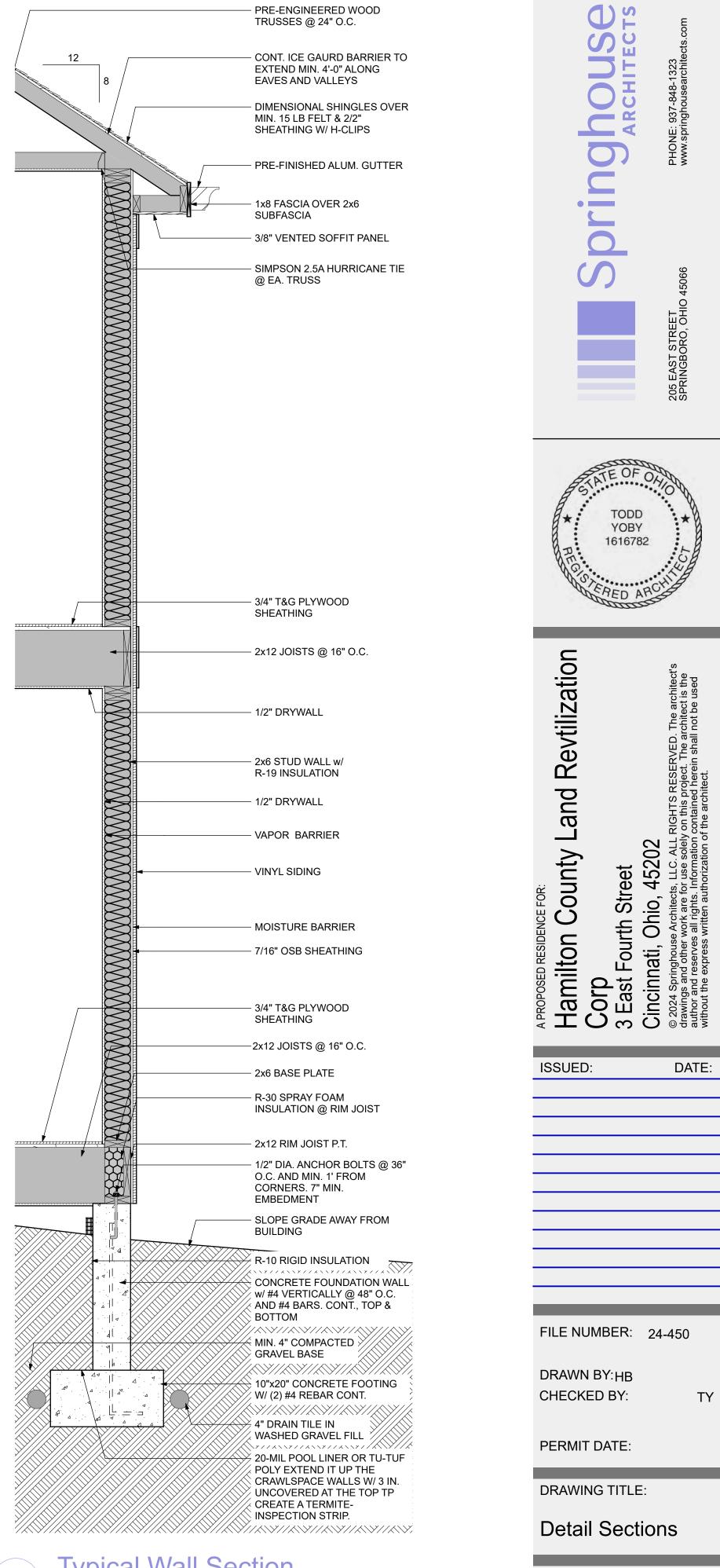
Springhouse











Typical Wall Section SCALE: 3/4" = 1'-0"

5.

ΤY



Todd Yoby Springhouse Architects 205 East Street Springboro, OH 45066 todd@springhousearchitects.com www.springhousearchitects.com



Energy Efficiency Compliance

1.) METHOD: RCO 2019 - RCO PRESCRIPTIVE METHOD, SEE MIN. VALUES BELOW

U FACTOR = .32

U FACTOR = .55

R-VALUE = 30 MIN

R-VALUE = 49 MIN

R-VALUE = 20 MIN

R-VALUE = 19 MIN

R-VALUE = 10 MIN

R-VALUE = 10R-VALUE = 10 MIN

U FACTOR = .32U FACTOR = .35 MAX



OF 78*F

NOTES

IF APPLICABLE NO ATTIC 2x6 WOOD FRAMING R-13 POLY FACED 2' MIN DEPTH

CONTINUOUS R-VALUE = 8/6 MIN (<3") UNCOND. SPACES

2.) HIGH EFFICIENCY LAMPS TO BE PROVIDED IN MIN. 90% OF ALL LIGHTING FIXTURES 3.) PROGRAMMABLE THERMOSTAT TO BE PROVIDED AND INITIALLY SET FOR HEATING OF 70*F AND COOLING

Sheet Index

- C.0 Cover Sheet
- C.1 Structural Notes
- 3.0 Floor Plans 4.0 **Exterior Elevations**
- 5.0 **Building Sections**
- 5.1 Detail Sections
- Plot Plan

Drawing Symbols

- EF (SD) (∞) HB -
- Exhaust Fan Smoke Detector
- Carbon Monoxide Detector Floor Drain Hose Bibb

Section/Elevation Marker



- Material Tag
- Window Tag

General Notes

GOVERNING CODE - 2019 OHIO RESIDENTIAL CODE, ALL WORK SHALL CONFORM TO THIS CODE AND ALL OTHER LOCAL AND APPLICABLE CODES.

BIDDING INSTRUCTIONS: CONTRACTOR TO BID SCOPE OF WORK DEFINED HEREIN IN LINE-ITEM FORMAT. OWNER MAY ASK FOR ADDITIONAL BREAKDOWN OF BID PRIOR TO AWARD. REFER TO CONSTRUCTION DOCUMENT SHEETS FOR ADDITIONAL NOTES.

- DO NOT SCALE DRAWINGS 1.
- ALL BEDROOMS SHALL HAVE A MINIMUM OF ONE WINDOW THAT COMPLIES WITH LOCAL EGRESS REQUIREMENTS
- STRUCTURAL FRAMING MEMBER TO HAVE A MINIMUM FB. = 1275 PSI 3.
- ALL EXTERIOR BEARING WALL HEADERS TO BE (3) 2x10's

ALL EXTERIOR BEARING HEADERS LESS THAN 6'-0" SPAN REQ. 1 JACK 1 KING EACH SIDE ALL EXTERIOR BEARING HEADERS LMORE THAN 6'-0" SPAN REQ. 2 JACK 2 KING EACH SIDE ALL INTERIOR BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x8's U.N.O.

ALL INTERIOR BEARING HEADERS 4'-0" - 6'-0" SPAN TO BE (2) 2x10's U.N.O.

ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x4's U.N.O. ALL INTERIOR NON-BEARING HEADERS 4'-0" - 8'-0" SPAN TO BE (2) 2x6's U.N.O.

- DETAILS FOR ALL ENGINEERED LUMBER PRODUCTS, i.e. GLU-LAMS, MICRO-LAMS, TJI'S ROOF TRUSSES, ETC. TO BE FURNISHED BY MANUFACTURER.
- GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECTS OFFICE TRUSS DESIGN AND LAYOUT DRAWINGS IF DESIGN DEVIATES FROM ARCHITECTS CONSTRUCTION DOCUMENTS. SUBMIT DRAWINGS WITH DEVIATIONS NOTED FOR REVIEW AND COORDINATION PRIOR TO BEGINNING OF CONSTRUCTION AND TRUSS FABRICATION
- INSTALL SAFETY GLAZING IN LOCATIONS SPECIFIED BY LOCAL CODE.

CONTRACTOR TO PROVIDE "GRACE" ICE & WATER SHIELD AT ALL ROOF EAVES, PEAKS, VALLEYS & VERTICAL WALL INTERSECTIONS. SHEET SHALL EXTEND FROM EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. (RCO 905.2.7.1)

- ANICAL ELECTRICAL AND PLUMBING EN WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATION AND INSTALLATION SPECIFICATIONS
- SEPARATE CIVIL ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE ADDITIONAL SITE 10 PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS. 11
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY GENERAL CONTRACTOR. THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED 12. SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- 13. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD ANY DISCREPANCIES WILL BE 14 BROUGHT TO THE ATTENTION OF THE ARCHITECT. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL 15.
- CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. IN FULL DEPTH MASONRY WALLS, EXPANSION JOINTS SHALL BE LOCATED IN FIELD BY MASON, MAX DISTANCE 20'-"0 O.C. ON LONGER STRAIGHT CONTINUOUS WALLS.
- 17. FLOOR SYSTEMS TO BE DESIGNED AT L/720 AT ALL TILE FLOOR LOCATION. COORDINATE WITH ARCHITECT IF NOT CLEARLY INDICATED ON DRAWINGS.
- 18. SMOKE ALARMS TO USE DUAL-TYPE DETECTION INCLUDING BOTH PHOTOELECTRIC AND IONIZATION TECHNOLOGIES PER RCO SECTION 314.1.

Design Loads

- 1.) MIN. REQUIRED DESIGN LOADS: A.) FLOOR LIVE LOAD = 40 PSF; SNOW = 20 PSF B.) GARAGE FLOOR LIVE LOAD = 50 PSF C.) WIND LOAD = 115 MPH (3-SEC GUST) D.) SOIL BEARING CAPACITY = 1,500 PSF
- 2.) THE MAX ALLOWABLE LIVE LOAD DEFLECTION OR STRUCTURAL MEMBERS: A.) CONCRETE FLOORS = L/360 B.) WALLS W/ MASONRY VENEER = L/240
- C.) WALLS W/ SIDING = L/120 D.) ROOF TRUSSES (OR RAFTERS) = L/180 E.) ALL OTHER STRUCTURAL MEMBERS = L/240
- 3.) MIN. COMPRESSIVE STRENGTH OF CONCRETE:
- A.) FOUNDATION WALLS = 3,500 PSI B.) FOUNDATION WALLS = 3,500 PSI C.) GARAGE FLOORS = 4,000 PSI

EXTERIOR WALKS & LANDINGS = 4,500 PSI ALL CONCRETE EXPOSED TO WEATHER OR SUBJECT TO FREEZING OR THAWING DURING CONSTRUCTION SHALL HAVE AIR ENTRAINMENT BETWEEN 5-7%.

4.) ALL RAFTERS, RIDGE BOARDS, RIDGE BEAMS, HEADERS, & CEILING JOISTS (OR CROSS TIES) SHALL BE MIN. NO. 2 GRADE SO. YELLOW PINE. ALL EXTERIOR WALL STUDS SHALL BE MIN. STUD GRADE SPF. 5.) ALL LUMBER IN DIRECT CONTACT WITH CONCRETE, MASONRY, OR IN PROXIMITY TO EXPOSED GROUND SHALL BE PRESSURE TREATED FOR EXTERIOR USE. ALL LUMBER IN DIRECT CONTACT WITH THE GROUND SUPPORTING DECK TO BE PRESSURE TREATED FOR GROUND CONTACT USE. 6.) ALL STRUCTURAL MEMBERS SHALL BE FULL LENGTH (NO SPLICES) OR SPLICES SHALL BE APPROVED & OCCUR AT ADEQUATE STRUCTURAL BEARING. 7.) ALL STRUCTURAL BOLTS SHALL BE A MIN 1/2" DIAM., CORROSION-RESISTANT, AND SHALL BE COMPATIBLE WITH THE SPECIFIC TYPE OF PRESSURE TREATED LUMBER BEING USED. 8.) ALL PRE-ENGINEERED STRUCTURAL WOOD CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & INSTALLATION INSTRUCTIONS (INCLUDING PROPER FASTENER TYPE AND SIZE). 9.) WOOD HEADERS WITH CLEAR SPANS OVER 6FT REQUIRE A MINIMUM (2) JACK STUDS & (1) KING STUD EACH SIDE.







DRAWN BY:HB CHECKED BY:

ΤY

PERMIT DATE:

DRAWING TITLE:

Cover Sheet





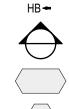
I ARCHITECTS

bu

•

0

S



RESIDENTIAL STRUCTURAL NOTES

FOUNDATIONS

- FOUNDATION ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES AND MAY VARY TO SUIT SUBSURFACE SOIL CONDITION. ELEVATION AND BEARING STRATA SHALL BE APPROVED PRIOR TO PLACING CONCRETE.
- ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL. DESIGN ALLOWABLE SOIL BEARING PRESSURE BELOW FOOTINGS = 1500 PSF.
- ALL FOOTINGS SHALL BE CONTINUOUS. SHALLOW FOOTINGS AT CRAWL SPACES AND OTHER STEPPED FOOTINGS SHALL STEP DOWN TO THE ELEVATION OF BASEMENT FOOTINGS AT A RATIO OF 2 FEET VERTICAL TO 4 FEET HORIZONTAL.
- THE FOLLOWING LATERAL SOIL PRESSURE PARAMETERS HAVE BEEN ASSUMED FOR THE **DESIGN OF FOUNDATIONS:**
- A. BASEMENT WALLS: 45 PCF EQUIVALENT FLUID PRESSURE, TRIANGULAR DISTRIBUTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND
- SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
- BACKFILL ALONG EXTERIOR FACE OF ALL PERIMETER FOOTINGS, AND ALONG EXTERIOR RETAINING TYPE WALLS SHALL BE A WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY UP TO WITHIN 12 INCHES OF THE FINISHED GRADE. TOP 12" OF BACKFILL SHALL BE COMPACTED CLAYEY MATERIAL. AT THE BOTTOM OF THE GRANULAR MATERIAL, PLACE A 4" DIAMETER SCHD. 35 PVC (MIN.) PERFORATED FOUNDATION DRAIN PIPE WITH POSITIVE DRAINAGE TO SUMP OR TO DAYLIGHT.
- APPLIED TECHNOLOGIES "HYDRA-GUARD" WATERPROOFING SYSTEM (OR RUB-R-WALL WATERPROOFING MEMBRANE SYSTEM) PLUS PROTECTION BOARD SHALL BE APPLIED ON ALL BASEMENT FOUNDATION WALLS AND FOOTINGS BELOW GRADE.
- CRAWL SPACES SHALL HAVE 6" OF PEA GRAVEL INSTALLED OVER 6 MIL VAPOR BARRIER.
- FINISHED GRADE SHALL SLOPE 6" IN THE FIRST 10' MINIMUM AWAY FROM THE PERIMETER FOUNDATION.

CONCRETE

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-99, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW, AND THE RECOMMENDED PRACTICE FOR **RESIDENTIAL CONCRETE CONSTRUCTION ACI-332R-84.**

2. MATERIALS:

- CONCRETE FOR INTERIOR SLAB ON GRADE: fc = 3500 PSI., NORMAL AGGREGATE.
- CONCRETE FOR EXTERIOR FLAT WORK, WALKS, GARAGE SLABS, ETC.: fc = 4500 PSI, (4.5% TO 7.5% ENTRAINED AIR). MINIMUM CEMENT CONTENT = 520 #/CY, MAXIMUM WATER / CEMENTITIOUS RATIO = 0.45. LIMIT POZZOLAN CONTENT PER ACI 301-99 TABLE 4.2.2.8.
- CONCRETE FOR FOUNDATION WALLS: fc = 3500 PSI, (5% TO 7% ENTRAINED AIR). С. MAXIMUM WATER / CEMENTITIOUS RATIO = 0.50.
- CONCRETE FOR FOOTINGS: f'c = 3000 PSI. D.

REINFORCING STEEL: ASTM A615 60 KSI YIELD DEFORMED BARS AND ASTM A185 MESH (SHEETS ONLY).

- ADMIXTURES: ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.
- IF CONCRETE ARRIVES AT THE SITE WITH A SLUMP BELOW THE SPECIFIED SLUMP AND IS 3 UNSUITABLE FOR PLACING AT THAT SLUMP, THE SLUMP MAY BE ADJUSTED ONCE ONLY BY ADDING WATER UP TO THE AMOUNT ALLOWED IN THE ACCEPTED MIXTURE PROPORTIONS. ADDITION OF WATER SHALL BE IN ACCORDANCE WITH ASTM C94. DO NOT EXCEED THE SPECIFIED WATER-CEMENTITIOUS MATERIAL RATIO OR SLUMP IN THE APPROVED MIX DESIGN. DO NOT ADD WATER TO CONCRETE DELIVERED IN EQUIPMENT NOT ACCEPTABLE FOR MIXING.
- WHEN THE AIR TEMPERATURE IS LESS THAN 40° F, THE TEMPERATURE OF THE CONCRETE SHALL BE MAINTAINED BETWEEN 50° AND 70°F FOR 7 DAYS.
- DURING HOT WEATHER, WHEN NECESSARY, PROVIDE FOR PROTECTIVE MEASURES IN ADVANCE OF PLACEMENT.
- AT CORNERS AND INTERSECTIONS OF WALLS AND GRADE BEAMS, PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNER AND/OR INTO ABUTTING WALL OR GRADE BEAM. BARS SHALL HAVE EMBEDMENT OF 30 DIAMETERS (18" MIN.).
- LAP SPLICE REINFORCING BARS AS FOLLOWS. LAP WELDED WIRE FABRIC MESH 12".

Horizontal bars with more than 12" of concrete below	All other Bars						
#3	23"	# 6	47"	#3	18"	#6	35"
#4	31"	#7	54"	#4	25"	#7	44"
#5	39"	#8	62"	#5	31"	#8	50"

- AT SLAB AND WALL OPENING CORNERS AND REENTRANT CORNERS, PROVIDE (1) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST EDGE OF OPENING. THIS STEEL MAY BE OMITTED IF TYPICAL SLAB OR WALL STEEL EXCEEDS THIS MINIMUM REQUIREMENT.
- ALL CAST-IN-PLACE CONCRETE WALLS SHALL BE PLACED CONTINUOUSLY WITH NO COLD JOINTS AND VIBRATED ADEQUATELY TO PREVENT AIR POCKETS. WHERE VERTICAL JOINT REQUIRED, CAST WALL FULL HEIGHT AND EXTEND HORIZONTAL REBAR 2'-0" BEYOND JOINT. WATERPROOF EXTERIOR FACE OF JOINT.
- BEAM POCKETS IN CONCRETE WALLS SHALL HAVE A HEIGHT 2" DEEPER THAN BEAM, BE 1" 10 WIDER THAN THE BEAM WIDTH, AND PROVIDE A MINIMUM 4" BEAM BEARING LENGTH. SOLID GROUT OR SOLID STEEL SHIMS SHALL BE PLACED BELOW BEAM BEARINGS.
- INTERIOR CONCRETE SLABS SHALL BE 4" THICK, WITH 6 MIL VAPOR BARRIER OVER 4" 11 MINIMUM CRUSHED GRANULAR COMPACTED BASE. PLACE CONTROL JOINTS IN INTERIOR SLABS AND EXTERIOR FLAT WORK AT 10' O.C. MAXIMUM EACH WAY WITH A MAXIMUM ASPECT RATIO OF 1.5:1. SLOPE TO DRAINS.

- 12. LIGHT BROOM FINISH AND ACRYLIC BASED CURING COMPOUND.
- 13. CUTTING WITHOUT RAVELING AT THE EDGES.
- ANCHOR BOLTS 7 INCHES IN CAST CONCRETE WALLS AND 13 INCHES IN GROUTED CONCRETE MASONRY CELLS.
- 15. 2'-0" BEYOND EDGES OF OPENINGS.
- THE NATIONAL ELECTRICAL CODE REQUIRES THAT THE BUILDING ELECTRICAL SYSTEM 16 THE CONTRACTOR. (N.E.C. 250.50)

MECHANICAL FASTENERS

- 1. EXPANSION ANCHORS
- Α. PRIOR TO INSTALLATION.

ADHESIVE ANCHORS

- PRIOR TO INSTALLATION.
 - OF ADHESIVE.
 - EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS.
- 2. INSTALLATION.
 - RECOMMENDATIONS BEFORE INSTALLATION OF ADHESIVE.
 - В. EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS.
 - С. ANCHORS
- 3. EXCEEDED ON THE DATE OF INSTALLATION.
- 4.

STRUCTURAL STEEL

- EDITION.
- 2 THE SPAN.
- 3 INDICATED ON THE STRUCTURAL DRAWINGS.
- WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS D1.1:2002).
- 5. MATERIALS:
 - A. ROLLED SHAPES AND PLATES UNLESS NOTED: ASTM A-36 OR STRONGER.
 - B. ADJUSTABLE NON-TELESCOPING PIPE COLUMNS: ASTM A-513, 11 GAGE.
 - C. BOLTS: ASTM A307, 3/4" DIAMETER UNLESS NOTED. D. ANCHOR BOLTS:
 - **RESIDENTIAL STRUCTURAL NOTES**
 - 2. OTHER ANCHOR BOLTS: ASTM A36: 1/2" DIAMETER UNLESS NOTED.
 - E. STEEL COLUMNS REQUIRED TO BE SCHEDULE 40 MINIMUM.
 - F. FIELD WELDS: AWS E70xx, LOW HYDROGEN ELECTRODES

G. NON-SHRINK GROUT : ASTM C1107

- (i.e. RAMSET PINS) AT 16" ON CENTER. PRE-PUNCH TOP FLANGE FOR BOLT HOLES.
- AT CONCRETE BEARING. STEEL BEAMS SHALL BE SHIMMED WITH STEEL PLATES OR 7 NONSHRINK GROUT. ANCHOR TO WALL WITH TWO 1/2" DIAMETER ANCHOR BOLTS.

STEEL TROWEL FINISH FLOOR SLAB AND CURE USING "CURE AND SEAL" TYPE CURING COMPOUND MEETING FEDERAL SPECIFICATION TT-C-00800 VOC COMPLIANT, 30 % MINIMUM SOLIDS CONTENT. FOR EXTERIOR FLAT WORK APPLICATIONS EXPOSED TO SUNLIGHT USE

CONTROL JOINTS IN SLABS-ON-GRADE SHALL BE HAND TROWELED OR SAW CUT WITHIN 6 HOURS OF PLACING CONCRETE OR WHEN CONCRETE IS STRONG ENOUGH TO WITHSTAND

PROVIDE ½" DIAMETER HOT DIPPED GALVANIZED SILL PLATE ANCHOR BOLTS AT 32" O.C. MAXIMUM AND WITHIN 12" OF CORNERS UNLESS NOTED OTHERWISE ON DRAWINGS. EMBED

PROVIDE (2) #5 BARS 2" ABOVE ALL CONCRETE OPENINGS LESS THAN 5' WIDE. EXTEND BARS

SHALL BE GROUNDED TO REINFORCING STEEL IN THE CONCRETE FOOTING. THE WORK ASSOCIATED WITH THIS REQUIREMENT AND THE METHOD USED SHALL BE COORDINATED BY

EXPANSION ANCHORS SHALL BE MANUFACTURED BY HILTI AND SHALL BE THE SIZE, AND EMBEDMENT INDICATED ON DRAWINGS. EXPANSION ANCHORS SHALL BE HLC SLEEVE ANCHORS WHEN EMBEDDED INTO MASONRY AND KWIK BOLT 3 WHEN EMBEDDED INTO CONCRETE, UNLESS OTHERWISE NOTED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA

ANCHORAGE TO CONCRETE: HILTI "HIT RE 500" EPOXY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA

HOLES MAY BE DIAMOND CORED OR DRILLED WITH CONVENTIONAL HAMMER DRILL HOLES SHALL BE BRUSHED AND BLOWN FREE OF ALL DELETERIOUS MATERIAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS BEFORE INSTALLATION

STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" STANDARD RODS. SIZE AND

ANCHORAGE TO SOLID GROUTED CONCRETE MASONRY UNITS: HILTI "HIT HY 150 MAX". SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO

DRILL HOLES WITH A CARBIDE TIPPED DRILL BIT AND CONVENTIONAL HAMMER DRILL. CORE DRILLING IS NOT ACCEPTABLE. HOLES TO BE BRUSHED AND BLOWN FREE OF ALL DELETERIOUS MATERIAL IN ACCORDANCE WITH MANUFACTURER'S

STEEL THREADED ROD ANCHORS SHALL BE HILTI "HAS-E" RODS. SIZE AND

FOR TEMPERATURES BETWEEN 40° F AND -10° F, USE HILTI HIT-ICE ADHESIVE

CONTRACTOR SHALL VERIFY THAT THE SHELF LIFE OF THE ADHESIVE HAS NOT BEEN

FOR CONNECTIONS TO EXISTING REINFORCED CONCRETE OR MASONRY, VERIFY THE LOCATIONS OF THE EXISTING REINFORCING BARS USING A REBAR DETECTOR, PRIOR TO DRILLING. NOTIFY THE ENGINEER PRIOR TO INSTALLATION IF ANCHOR LOCATIONS CONFLICT WITH EXISTING REINFORCING BARS. DO NOT DRILL THROUGH EXISTING REINFORCING BARS.

ALL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO AISC SPECIFICATIONS FOR "DESIGN. FABRICATION. AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES". LATEST

FABRICATOR IS RESPONSIBLE FOR DESIGN OF CONNECTIONS. UNLESS SPECIFIC END MOMENTS AND REACTIONS ARE INDICATED ON DRAWINGS, DESIGN AND FABRICATE CONNECTIONS TO RESIST THE MAXIMUM UNIFORM LOAD CAPACITY OF THE MEMBER FOR

FIELD CONNECTIONS SHALL BE BOLTED EXCEPT WHERE WELDED CONNECTIONS ARE

1. ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS: SEE WOOD SECTION OF

PROVIDE A 2X WOOD PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 2'-0" O.C. OR 3/16" DIAMETER POWDER DRIVEN FASTENERS

<u>WOOD</u>

1. MATERIALS:

FRAMING LUMBER:

1. 2 x 8 AND LARGER: NO. 2 GRADE OR BETTER SOUTHERN PINE KILN DRIED.

2. 2 x 4 AND 2 x 6: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.

3. 4 x 4 AND 6 x 6: NO. 2 GRADE OR BETTER PRESSURE TREATED SOUTHERN PINE.

4. PRESSURE TREATED LUMBER: NO. 2 GRADE OR BETTER SOUTHERN PINE WITH ACQ (ALKALINE COPPER QUAT), CBA-A, CA-B (COPPER AZOLE), OR BORATE PRESSURE TREATED LUMBER (SILL PLATES ONLY): PRESSURE TREAT TO AWPA USE CATEGORY UC2 FOR SILL PLATES; UC3B FOR ABOVE GROUND EXTERIOR DECKING, STAIRS, RAILINGS, ETC.; AND UC4A FOR GROUND CONTACT.

B. SHEATHING & SUBFLOORING:

1. MATERIALS:

FLOOR SHEATHING: 23/32" STURD-I-FLOOR APA SPAN RATING 48/24 TONGUE & GROOVE SUBFLOOR EXPOSURE 1. ORIENTED STRAND BOARD IS NOT PERMITTED TO BE USED BELOW THINSET CERAMIC TILE OR MARBLE FLOOR FINISHES.

FLOOR SHEATHING: 23/32" ADVANTECH SPAN RATING 48/24 TONGUE & GROOVE SUBFLOOR MANUFACTURED BY HUBER ENGINEERED WOODS.

ROOF SHEATHING: 19/32" APA SPAN RATING 40/20 ROOF SHEATHING EXPOSURE 1. INSTALL PANEL CLIP THAT PRODUCES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/RAFTER SPACE ALONG UNSUPPORTED SHEATHING EDGES.

OR

ROOF SHEATHING: 1/2" ZIP SYSTEM ROOF SPAN RATING 40/20 MANUFACTURED BY HUBER ENGINEERED WOODS. INSTALL PANEL CLIP THAT CREATES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/RAFTER SPACE ALONG UNSUPPORTED SHEATHING EDGES.

- WALL SHEATHING: 7/16" APA SPAN RATING 24/16 WALL SHEATHING EXPOSURE C.
- CONNECTIONS: ALL SHEATHING SHALL BE NAILED TO WOOD FRAMING WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES, 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED **OTHERWISE**
- ADHESIVE FOR GLUED AND NAILED PLYWOOD SUBFLOORING: SHALL CONFORM TO PERFORMANCE SPECIFICATION AFG-01 DEVELOPED BY APA.
- LVL (LAMINATED VENEER LUMBER) BEAMS: DISTRIBUTED AS MICRO-LAM LVL, GANGLAM LVL AND TIMBER MAX LVL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LVL BEAMS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:
 - 1. Fb = 2600 PSI BENDING
 - 2. Fv = 285 PSI HORIZONTAL SHEAR
 - Fc⊥ = 750 PSI COMPRESSION PERPENDICULAR TO GRAIN
 - 4. E = 1,900,000 PSI MODULUS OF ELASTICITY OR

PSL (PARALLEL STRAND LUMBER) BEAMS AND COLUMNS: DISTRIBUTED AS PARALLAM. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PSL BEAMS AND COLUMNS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:

1. BEAMS: a. Fb = 2900 PSI BENDING

- b. Fv = 290 PSI HORIZONTAL SHEAR
- c. Fc = 2900 PSI COMPRESSION PARALLEL TO GRAIN
- Fc.1 = 650 PSI COMPRESSION PERPENDICULAR TO GRAIN
- e. E = 2,000,000 PSI MODULUS OF ELASTICITY

2. COLUMNS:

- a. Fb = 2400 PSI BENDING
- b. Fv = 190 PSI HORIZONTAL SHEAR
- Fc = 2500 PSI COMPRESSION PARALLEL TO GRAIN
- Fc⊥ = 425 PSI COMPRESSION PERPENDICULAR TO GRAIN
- e. E = 1,800,000 PSI MODULUS OF ELASTICITY
- PSL MEMBERS EXPOSED TO WEATHER OR HIGH MOISTURE SHALL BE CBA-A OR CA-B TREATED TO RETENTION LEVELS OF .20 LBS/FT³ w/ CBA-A OR .10 LBS/FT³ w/ CA-B FOR BEAMS AND .41 LBS/FT³ w/ CBA-A OR .21 LBS/FT³ w/ CA-B FOR COLUMNS. CONNECTORS FOR CBA-A OR CA-B TREATED BEAM MEMBERS SHALL BE HOT DIP GALVANIZED. CONNECTORS FOR CBA-A OR CA-B TREATED COLUMN MEMBERS SHALL BE STAINLESS STEEL TYPE 316.
- WOOD TRUSSES:

3

METAL PLATE CONNECTED WOOD TRUSSES SHALL BE FABRICATED BY A MANUFACTURER CERTIFIED UNDER THE TRUSS PLATE INSTITUTE NER-QA 430 QUALITY ASSURANCE PROGRAM.

- 2. ALL WORK TO CONFORM TO THE "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" (ANSI/TPI 1-2002) BY THE TRUSS PLATE INSTITUTE, INC.
- UNLESS NOTED OTHERWISE, ALL TRUSSES SHALL BE DESIGNED FOR THE LOADS AS SHOWN IN THE DESIGN LOAD SECTION OF THESE NOTES.
- SHOP DRAWINGS ARE REQUIRED AND SHALL BEAR THE DESIGNERS ENGINEERING SEAL FROM THE STATE THE PROJECT OCCURS. PER IRC 802.10, SHOP DRAWINGS SHALL INCLUDE ALL DESIGN AND FABRICATION DATA, TEMPORARY AND PERMENANT BRACING REQUIREMENTS (CLEARLY SHOWING PERMANENT BRACING REQUIREMENTS FOR WEB COMPRESSION AND BOTTOM CHORD MEMBERS), HANDLING AND ERECTION INSTRUCTIONS, ALL FIELDCONNECTION REQUIREMENTS, AND AN ERECTION PLAN LOCATING ALL TRUSSES. WOOD TRUSSES SHALL NOT BE FABRICATED UNTIL SHOP DRAWINGS ARE APPROVED BY ARCHITECT/ENGINEER.
- LAP SPLICE PERMANENT TRUSS BRACING A MINIMUM OF ONE TRUSS SPACE.
- FABRICATOR SHALL DESIGN ALL TRUSS TO TRUSS AND/OR TRUSS TO BEAM CONNECTIONS AND SHALL SPECIFY THE PROPER SIZED HANGER ON THE SHOP DRAWINGS.
- ALL TRUSSES UNDER 60' LONG SHALL BE BRACED DURING ERECTION PER "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES", BCSI-B1 SUMMARY SHEET BY THE TRUSS PLATE INSTITUTE, UNLESS MORE STRICT BRACING IS REQUIRED BY THE TRUSS MANUFACTURER. TRUSSES OVER 60' LONG SHALL HAVE TEMPORARY BRACING DESIGNED BY A PROFESSIONAL ENGINEER WHO IS REGISTERED IN THE STATE THE

PROJECT OCCURS, AND SHALL HAVE DRAWINGS SUBMITTED, BEARING THE DESIGNER'S SEAL, SHOWING THE DETAILS OF THE TEMPORARY BRACING. THIS BRACING SHALL REMAIN AS PERMANENT BRACING. BRACING IN THE PLANE OF THE TOP CHORD MAY BE REMOVED WHEN THE TOP CHORD IS LATERALLY BRACED BY PLYWOOD SHEATHING.

- AT EXTERIOR GABLE ENDS:
 - PROVIDE 2 X 4 X 10' LONG HORIZONTAL BRACES PERPENDICULAR TO GABLE END WALL AT 4' ON CENTER. NAIL BRACES TO GABLE END AND TO TOP OF THE BOTTOM CHORDS OF EACH TRUSS WITH (2)-10d NAILS.
 - TOENAIL GABLE END TRUSS TO TOP PLATE OF STUD WALL WITH 10d TOENAILS AT 16" ON CENTER.
 - BRACE NAILING STUDS IN GABLE END TRUSS PER MANUFACTURER'S C. DRAWINGS.
- GABLE END TRUSSES SHALL NOT BE TALLER THAN 8'-9". GREATER THAN 8'-9" HIGH SHALL UTILIZE SLOPED STUD WALLS FOLLOWING THE PROFILE OF THE TRUSSES.

10. DESIGN WOOD TRUSSES TO BEAR ON THE EXTERIOR WALL UNLESS INDICATED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.

FASTENERS: 1. BOLTS:

G.

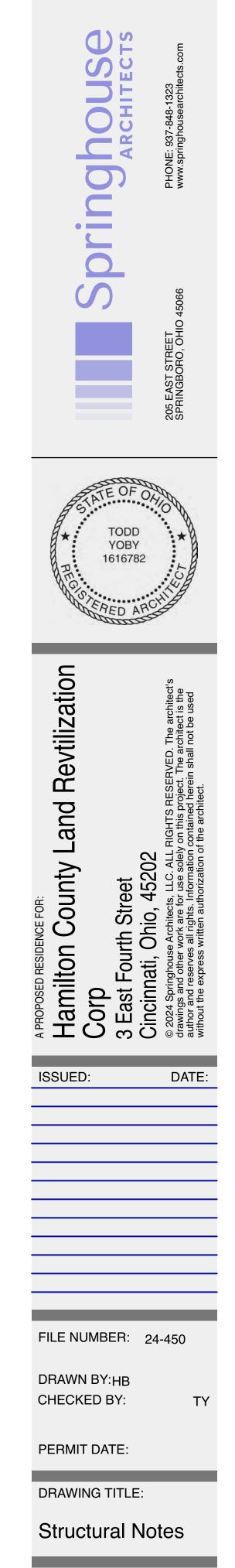
- ANCHOR BOLTS FOR PRESSURE TREATED LUMBER SILLS (WITH THE EXCEPTION OF BORATE TREATED): (1) STAINLESS STEEL TYPE 304 OR 316. -OR-(2) HOT DIP GALVANIZED PER ASTM A123: ASTM A36, ASTM A307, OR ASTM F1554 GRADE 36. OTHER BOLTS: ASTM A307. PROVIDE STANDARD CUT WASHER BETWEEN BOTH HEAD AND NUT TO WOOD CONNECTION. 2. NAILS: 8d COMMON= 0.131"" DIA, 2 ½"" LG. 10d COMMON= 0.148"" DIA, 3"" LG. 16d COMMON= 0.162"" DIA, 3 1/2"" LG 3. WOOD SCREWS: c. #8= 0.164"" DIA. d. #10= 0.19"" DIA. e. #12= 0.216"" DIA
- 4. LAG SCREWS:
- f. PROVIDE STANDARD WASHER BETWEEN HEAD TO WOOD CONNECTION. e. PREBORE HOLES PRIOR TO INSTALLATION.
- UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE MADE PER TABLE 602.3a(1), "FASTENING SCHEDULE FOR STRUCTURAL MEMBERS", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
- ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED. 3.
- AT BOLTED 2x LEDGERS, PROVIDE NO LESS THAN 2" CLR. FROM CENTER OF BOLT TO TOP AND BOTTOM OF LEDGER.
- ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.
- SIMPSON CONNECTORS USED IN ALL APPLICATIONS WITH ACQ-C, ACQ-D, CBA-A, OR CA-B, OR NON-DOT BORATE TREATED LUMBER SHALL BE ZMAX (G185) OR HOT DIPPED GALVANIZED. G60 AND G90 COATED PRODUCTS ARE NOT ALLOWED FOR APPLICATIONS WITH TREATED LUMBER. G90 CAN BE USED WITH BORATE TREATED LUMBER IN INTERIOR-DRY APPLICATIONS. ONLY USE GALVANIZED FASTENERS WITH ZMAX AND HOT DIP GALVANIZED CONNECTORS. AT OWNER''S OPTION, STAINLESS STEEL TYPE 304 OR TYPE 316L WITH STAINLESS STEEL FASTENERS CAN BE USED TO INCREASE LIFE EXPECTANCY OF THE CONNECTOR. STAINLESS STEEL CONNECTORS SHOULD BE USED FOR LUMBER WITH CHEMICAL RETENTION LEVELS GREATER THAN 0.40 PCF FOR ACQ, 0.41 PCF FOR CBA-A, OR 0.21 PCF FOR CA-B.
- FOR WOOD ROOF RAFTERS AND TRUSSES, INSTALL SIMPSON H2.5A HURRICANE TIE AT EACH MEMBER AT EACH BEARING LOCATION IN ADDITION TO THE TYPICAL NAILING REQUIREMENT IN THE ""FASTENING SCHEDULE"". 8. BRIDGING IN ALL FLOOR AND CEILING JOISTS SHALL BE 1" X 3" CROSS BRIDGING (DOUBLE NAILED) AT 8'-0" O.C. MAXIMUM. STEEL CROSS BRIDGING IS AN ACCEPTABLE ALTERNATE.

AT FIRST FLOOR JOISTS THAT ARE PARALLEL TO THE BASEMENT FOUNDATION WALL. PROVIDE FULL DEPTH SOLID BLOCKING AT ANCHOR BOLT SPACING BETWEEN THE RIM JOIST AND THE FIRST (2) INTERIOR JOIST SPACES. NAIL SHEATHING TO EACH BLOCK WITH FOUR 10d NAILS.

- 10. WALL STUDS SHALL LINE UP WITH FLOOR JOISTS OF FLOORS ABOVE AND BELOW.
- PROVIDE DOUBLE RIM JOIST WHERE FRAMING RUNS PARALLEL TO FOUNDATION OR 11 STUD WALL.
- 12. PROVIDE A STUD AT ALL TOP PLATE SPLICE LOCATIONS.
- PROVIDE DOUBLE JOISTS IN FLOOR CONSTRUCTION BELOW ALL INTERIOR 13. PARTITIONS THAT RUN PARALLEL WITH THE JOISTS (SPREAD JOISTS AS NECESSARY TO ACCOMMODATE PLUMBING).
- 14. FOR BUILT UP FREE STANDING COLUMNS, USE THE FOLLOWING NAILING PATTERNS: (2) 2X410d NAILS AT 6"" O.C. STAGGERED FRONT TO BACK, SET NAILS 1"" FROM EDGE; (3) 2X4-30d NAILS AT 8"" O.C. STAGGERED FRONT TO BACK, SET NAILS 1 1/2"" FROM EDGE; (3) 2X6- TWO ROWS OF 30d NAILS AT 8" O.C. STAGGERED SIDE TO SIDE AND FRONT TO BACK, SET NAILS 11/2"" FROM EDGE.
- NOTCHES IN EXTERIOR WALL OR INTERIOR BEARING WALL STUDS ARE NOT TO 15 EXCEED ONEFOURTH OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 40% OF THE STUD WIDTH OR WITHIN 5/8" OF STUD EDGE.
- NOTCHES IN FLOOR JOISTS AND ROOF RAFTERS SHALL NOT BE LOCATED IN THE 16 MIDDLE ONE-THIRD OF THE SPAN. DEPTH OF NOTCHES IN THE TOP OR BOTTOM OF THE MEMBER ARE NOT TO EXCEED ONE-SIXTH OF THE MEMBER DEPTH, AND LENGTH SHALL NOT EXCEED ONETHIRD OF MEMBER DEPTH. HOLES SHALL NOT BE BORED LARGER THAN ONE-THIRD OF THE MEMBER DEPTH, OR WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE MEMBER, OR WITHIN TWO FEET OF BEARING. NO HOLES OR NOTCHES ARE ALLOWED IN BEAMS UNLESS APPROVED BY ARCHITECT/ENGINEER.
- 17 WHERE CONCENTRATED LOADS FROM BEAMS, GIRDER TRUSSES, ETC. BEAR ON STUD WALLS, PROVIDE THE NUMBER OF STUDS NECESSARY TO SUPPORT THE FULL WIDTH OF THE BEARING MEMBER, UNLESS NOTED OTHERWISE. THE REQUIRED NUMBER OF SUPPORTING STUDS SHALL CONTINUE FOR THE FULL HEIGHT OF WALL BELOW THE CONCENTRATED LOAD, WITH CONTINUOUS BLOCKING THRU FLOOR FRAMING AT EACH FLOOR LEVEL, DOWN TO SOLID BEARING ON FOUNDATION WALL SILL PLATE OR

INTERIOR STEEL OR WOOD BEAM.

- MINIMUM BEARING STUD & FULL HEIGHT STUD REQUIREMENTS FOR SUPPORT OF 18 HEADERS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS:
 - HEADER SPAN 6"-0"" OR LESS: MINIMUM (1) 2x BEARING STUD NAILED TO (1) Α. FULL HEIGHT STUD WITH 10d NAILS AT 24"" O.C.
 - HEADER SPAN GREATER THAN 6"-0"": MINIMUM (2) 2x BEARING STUDS NAILED TO (1) FULL HEIGHT STUD WITH 10d NAILS AT 24³⁹ O.C., UNLESS OTHERWISE.
- 19. ALL MULTIPLE HEADERS AND BEAMS WITH DEPTH LESS THAN 14 INCHES SHALL BE FASTENED TOGETHER WITH MINIMUM (3) ROWS OF 10d COMMON NAILS AT 12" O.C., STAGGERED ON OPPOSITE SIDES. FOR DEPTHS EQUAL TO OR GREATER THAN 14 INCHES, FASTEN TOGETHER WITH (4) ROWS OF 10d NAILS AT 12""O.C. FOR FOUR OR MORE PLY BEAMS, THRU-BOLT WITH 1/2" DIAMETER BOLTS AT 12" O.C. STAGGERED TOP AND BOTTOM. ALL SIDE LOADED BEAMS SHALL BE THRU-BOLTED.
- 20. SHEATH ALL EXTERIOR WALLS WITH APA RATED WALL SHEATHING.





GENERAL NOTES

1) - EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETED 2) - NO SMOKING ALLOWED IN BUILDING AT ANY TIME.

3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY TI COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ONSITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MA NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.

4) - ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOF OVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALL 5) - CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MU ÚSE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.

6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.

7) - CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.

8) - ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S RERESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

9) - FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY ÓWNER WALK THROUGHS.

10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AN ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS' AND SUBCONTRACTORS'RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

1) - FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.

2) - STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.

3) - PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.

4) - IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 12"

5) - INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

1) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.

2) - ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.

3) - SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION. 4) - PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

PER RCO 314.3 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL. B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM. C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO

PER RCO 315.1

314.3

A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM. 5) EGRESS WINDOW REQUIREMENTS OPENING > 5.7 SQ FT

OPENING WIDITH > 24" OPENING HEIGHT > 20" MAX DISTANCE FROM THE FLOOR: 44"

6) SAFTEY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.

- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.

- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANES GREATER THAN 9 SF.

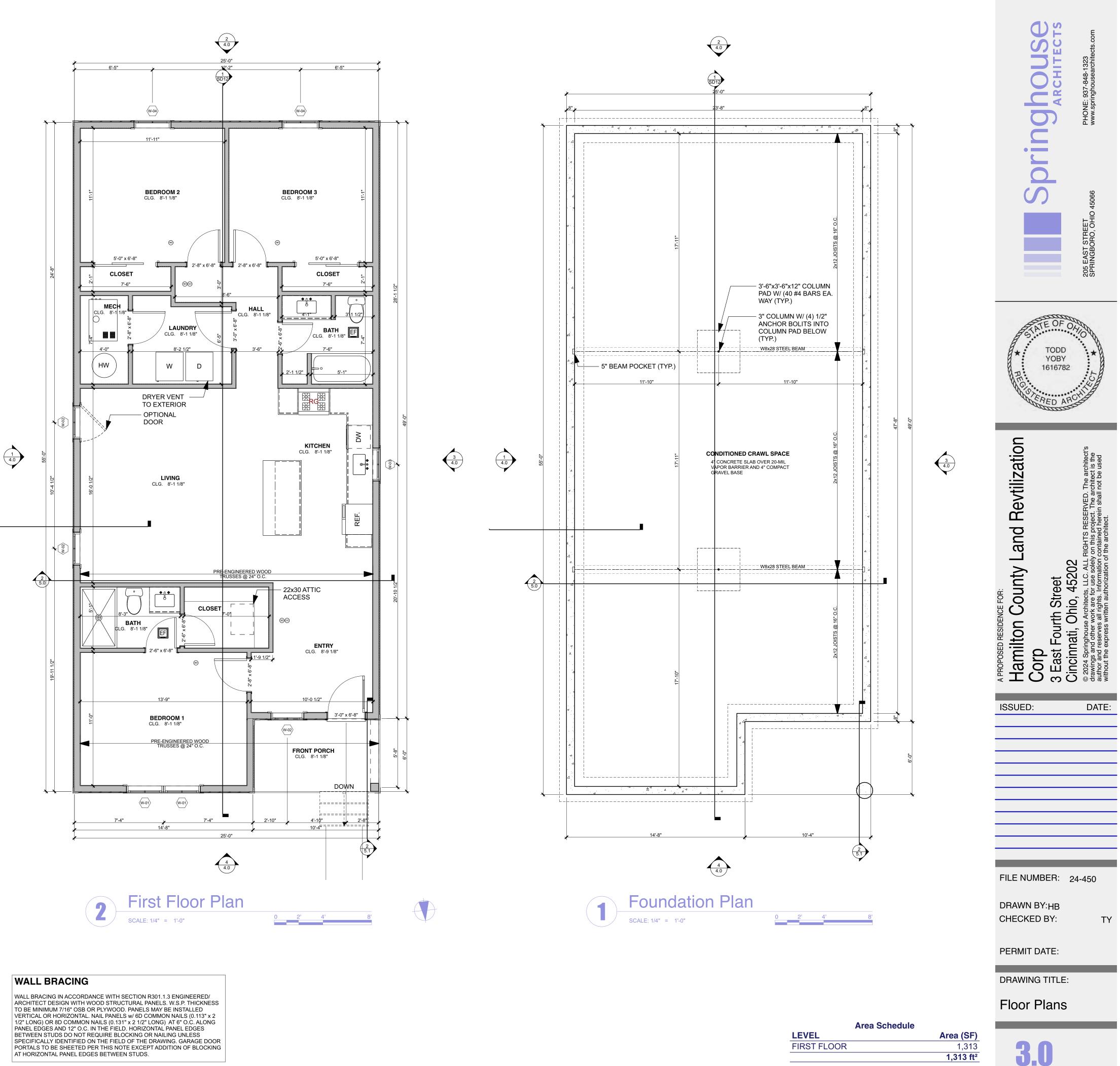
Window Schedule							
ID	Unit Dimensions	Operation	Tempered	Remarks			
W-01	3'-0"×5'-0"	Double Hung					
W-02	2'-8"×4'-0"	Double Hung					
W-03	2'-8"×3'-0"	Double Hung					
W-04	3'-0"×5'-0"	Double Hung					

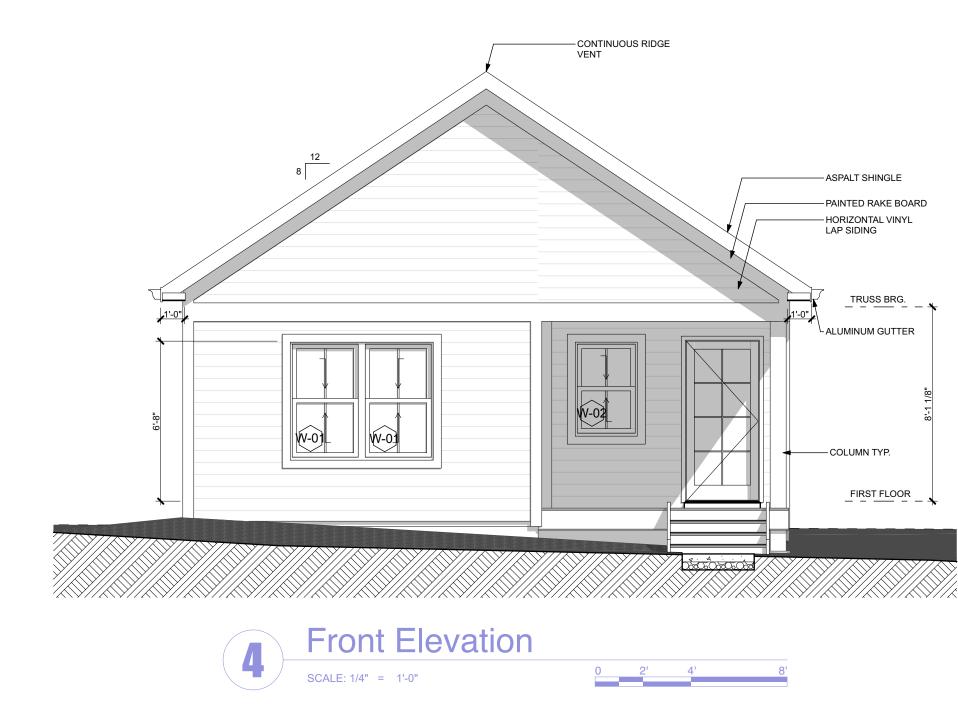
FOUNDATION NOTES

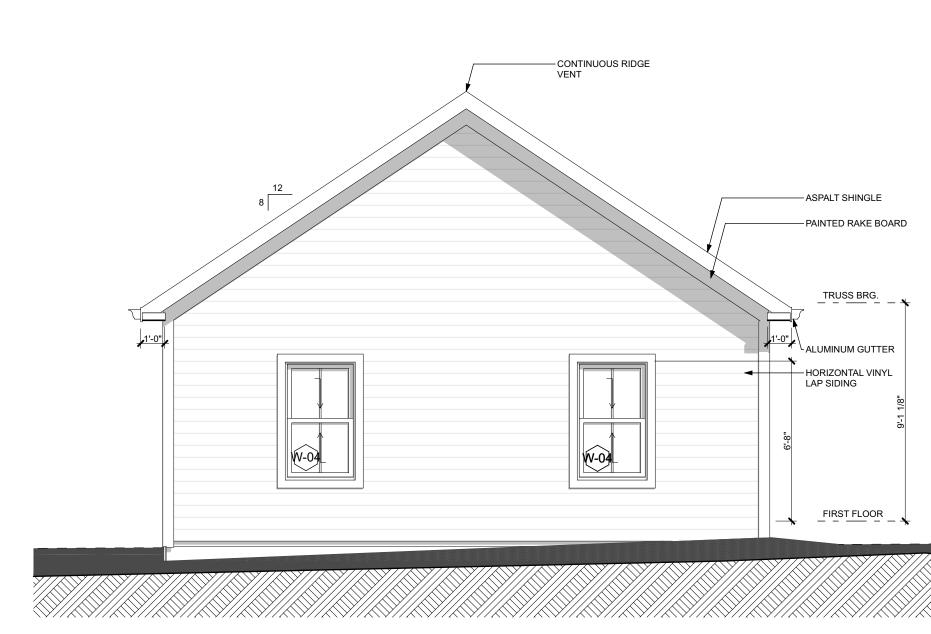
1. FOUNDATION SYSTEM DESIGN IS BASED ON A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3,000 PSI IN THE FOOTINGS. IF A LOWER STRENGTH CONCRETE WILL BE USED, NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION, SO THAT THE REINFORCING STEEL SIZE AND/OR SPACING CAN BE ADJUSTED TO SUIT THE CONCRETE STRENGTH.

2. FOOTING DESIGNS ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF MINIMUM.

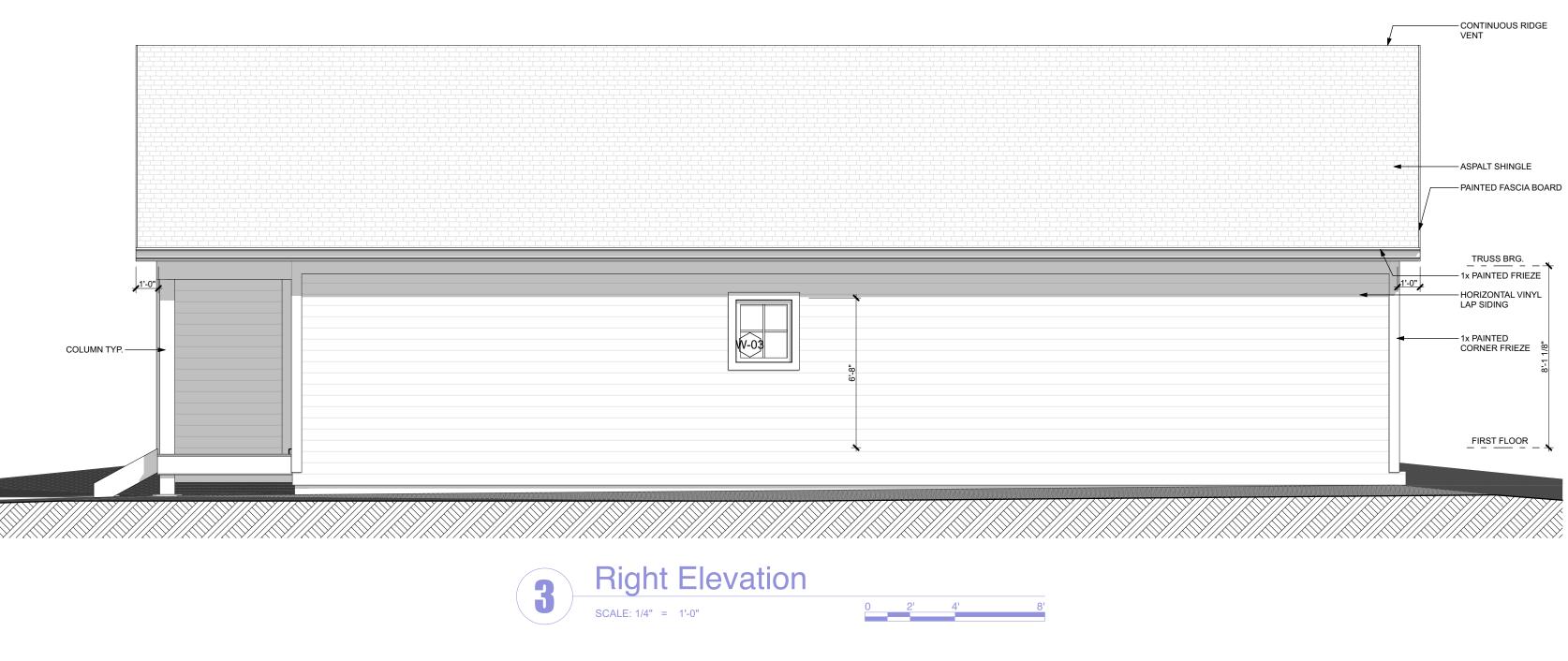
3. CONTINUOUS FOOTING TO BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL DESIGNED BY CIVIL ENGINEER AND TESTED BY GEO-TECHNICAL ENGINEER. IT IS CONTRACTOR'S RESPONSIBILITY TO OVERSEE AND ENSURE ALL BEARING LOCATIONS MEET THESE REQUIREMENTS. ANY CHANGES MADE IN THE FIELD SHOULD BE CONSULTED WITH THE ARCHITECT.

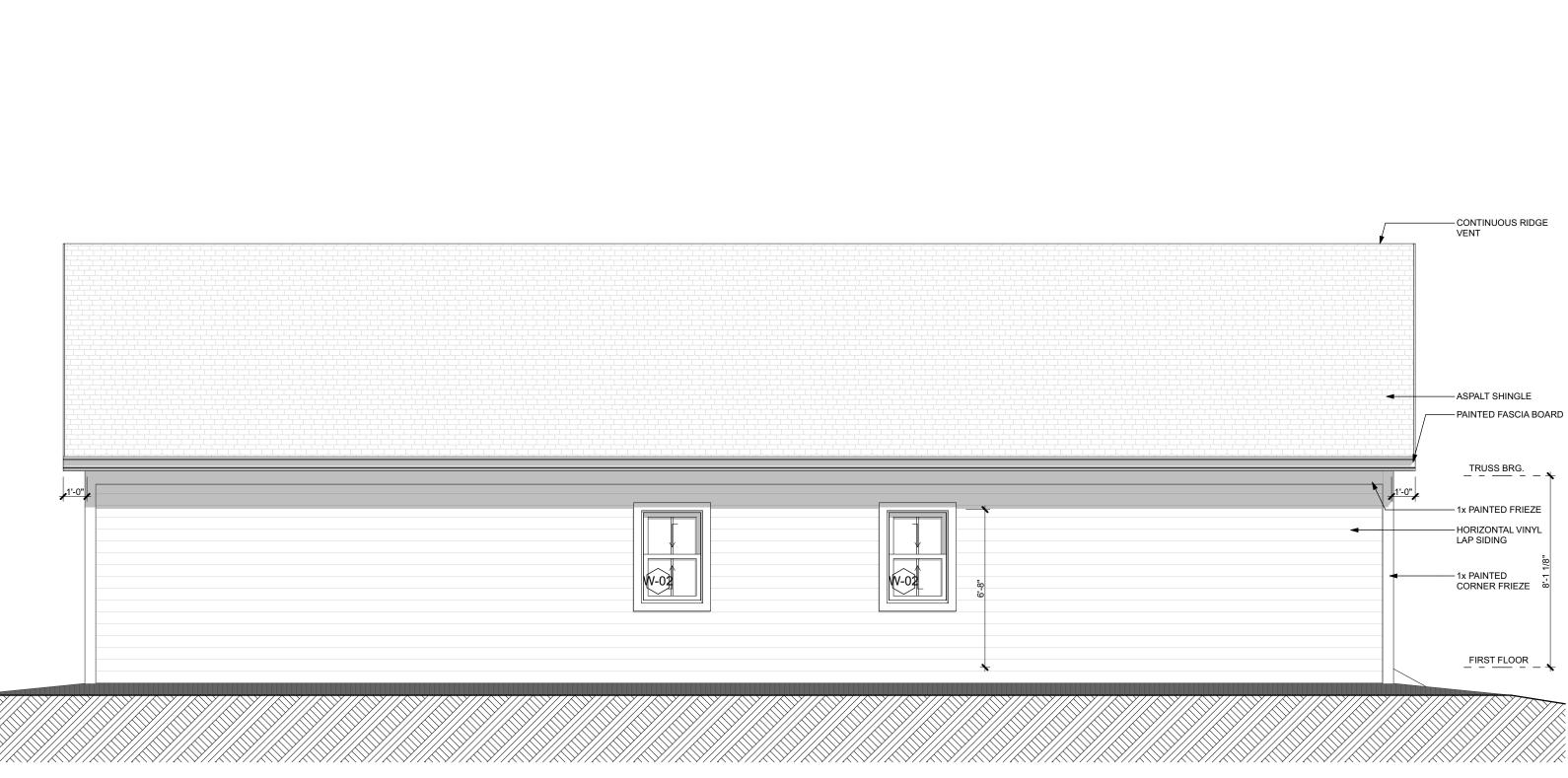
















Exterior Elevation General Notes

1) - VERIFY IN FIELD ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. 2) - ALL METAL COPING, METAL FASCIA, METAL FLASHING, ROOF ACCESSORIES, LOUVERS, SHALL BE PREFINISHED UNLESS NOTED OTHERWISE.

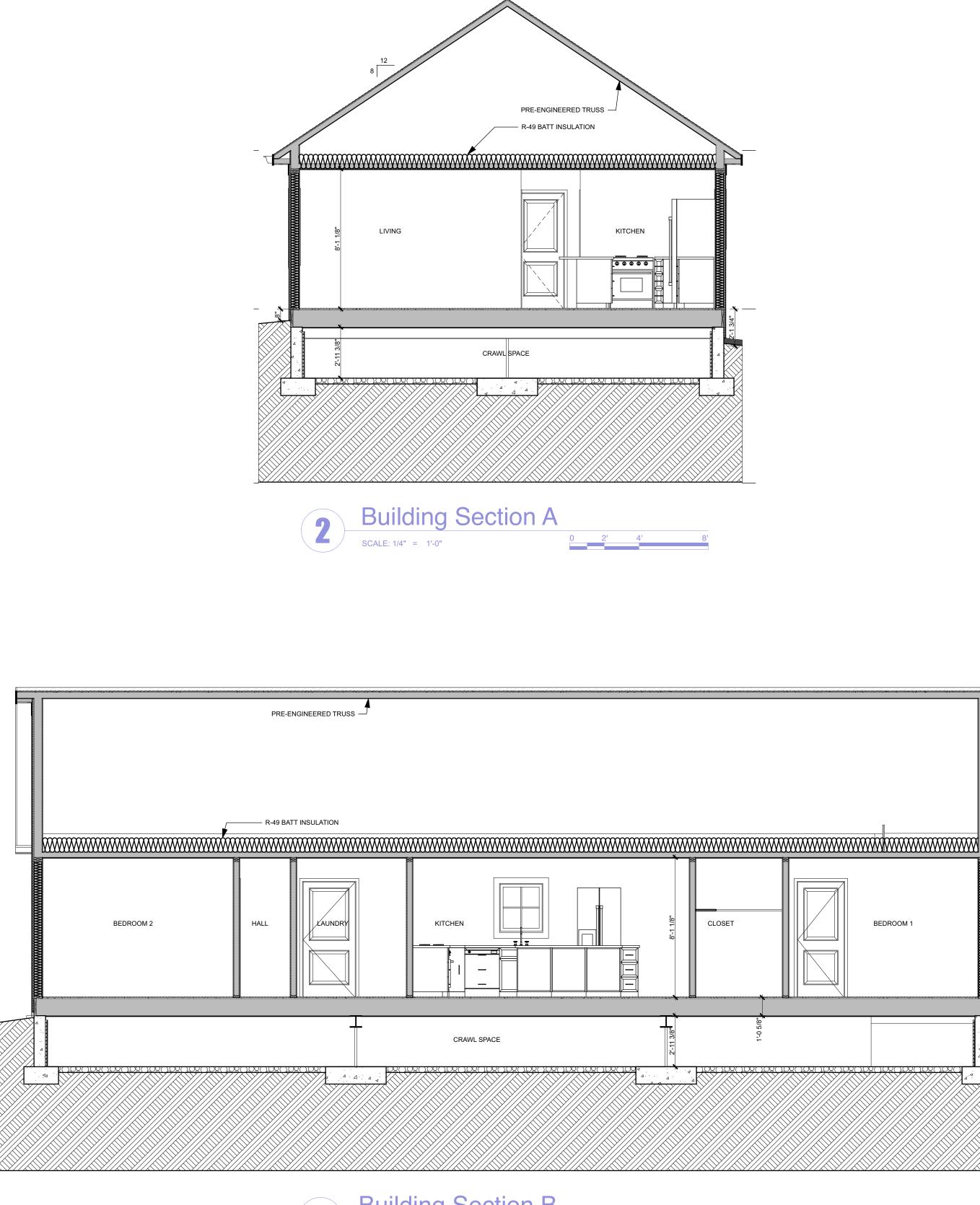
3) - REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO FINISH PAVEMENT AND FINISH GRADE ELEVATIONS.

4) - ELEVATIONS MAY NOT SHOW ALL MECHANICAL / ELECTRICAL / PLUMBING / ETC. ROOF TOP EQUIPMENT AND THROUGH-WALL PENETRATIONS. REFER TO AND COORDINATE WITH MECHANICAL / ELECTRICAL / PLUMBING / ETC. FOR SUCH EQUIPMENT AND PENETRATIONS 5) - REFER TO WALL SECTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIAL, ETC.

6) - DIMENSIONS SHOWN ARE FOR EASE OF TAKE-OFF ONLY. BIDDERS TO VERIFY QUANTITIES.

house Architects bu PHOI pri **()** 205 EAST STREET SPRINGBORO, OH TODD YOBY 1616782 Land Revtilization the is is n RESERVED. The arc roject. The architect i therein shall not be u alGHTS Ri on this prc Street in, 45202 LLC. ALL RI vion cc A FINUTUSED RESIDENCE FOR: Hamilton County I Corp 3 East Fourth Street Cincinnati, Ohio, 45202 ISSUED: DATE: FILE NUMBER: 24-450 DRAWN BY:HB CHECKED BY: ΤY PERMIT DATE: DRAWING TITLE: **Exterior Elevations**





 Building Section B

 SCALE: 1/4" = 1'-0"



PERMIT DATE:

DRAWN BY:HB CHECKED BY:

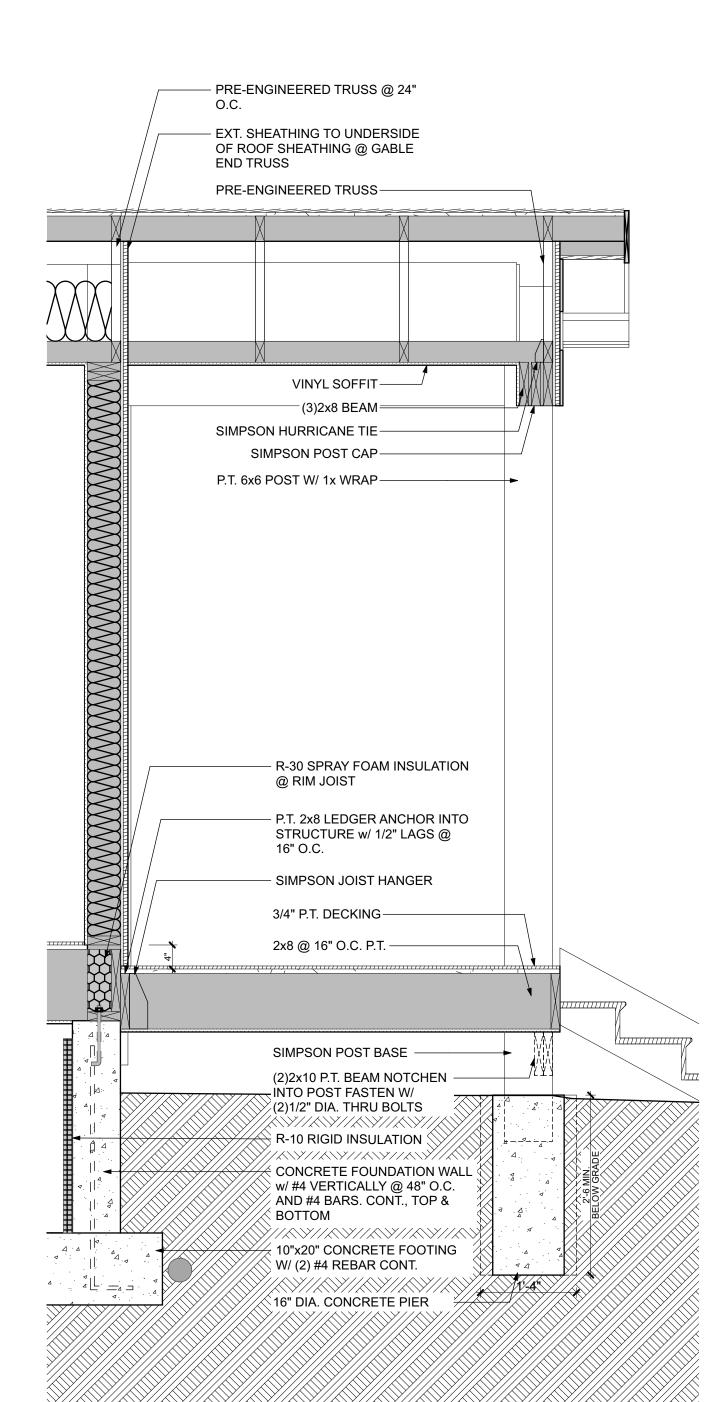
ISSUED:

Land Revtilization 22 ALL RIGHTS RESERVED. The architect's olely on this project. The architect is the tition contained herein shall not be used on of the architect. A PROPOSED RESIDENCE FOR: Hamilton County L Corp Bast Fourth Street Cincinnati, Ohio, 45202 Cincinnati, Ohio, 45202 euthor and reserves all rights. Information without the event are for use solely

DATE:

TODD YOBY 1616782





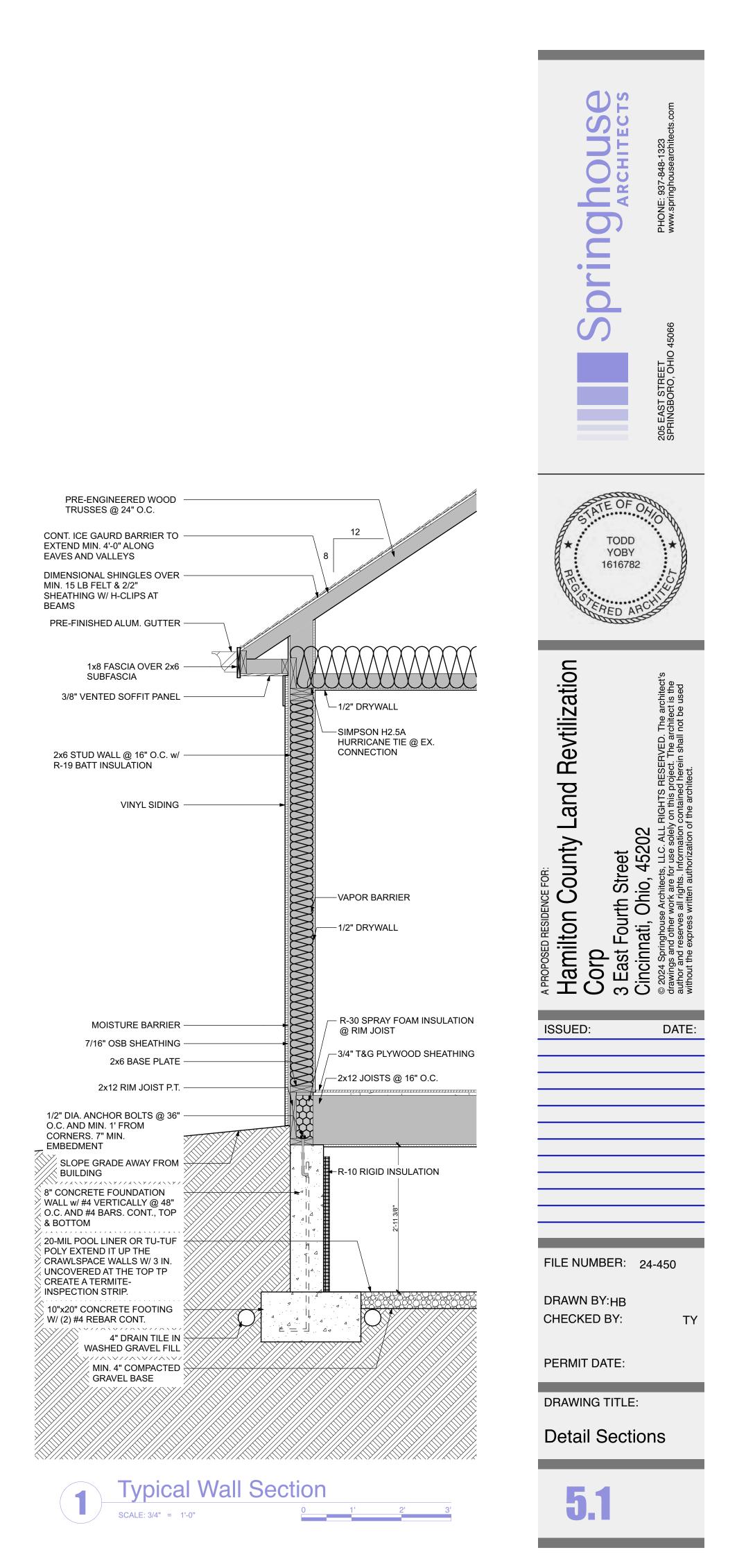
408.3 UNVENTED CRAWL SPACE

FORCED AIR REGISTER TO DELIVER SUPPLY AIR FROM FURNACE OR AIR HANDLER TO CRAWL SPACE @ MIN. 1 CFM/MIN PER 50 SF OF UNDER-FLOOR AREA INCLUDING RETURN AIR PATHWAY



SCALE: 3/4" = 1'-0"





THE **PORT** Making Real Estate Work

ECONOMIC EQUITY AND INCLUSION POLICY

The Port of Greater Cincinnati Development Authority ("The Port") is deeply committed to supporting economic equity for minority-owned, women-owned, and small businesses. This commitment was demonstrated through the adoption of policies during its first year of operation, and it remains steadfast today. We believe in the significant potential for a meaningful increase in the inclusion and utilization of these businesses in all Port-related and managed projects.

The Port's policy applies robust economic inclusion and equity in the Cincinnati region. The policy implements principles from the City and County that enabled legislation to establish The Port. Inherent in those principles is the realization that we must fully utilize inclusive resources and provide everyone with equal opportunity and economic equity. By doing so, we create an equitable region conducive to inclusive economic and real estate development.

Board of Directors Port of Greater Cincinnati Development Authority ("The Port") revision adopted by the Board of Directors on June 25, 2024.

The Vision

The Port of Greater Cincinnati Development Authority ("The Port") strives to continually have equitable utilization of Minority Business Enterprises (MBEs), Women Business Enterprises (WBEs), and Small Business Enterprises (SBEs) in the services for which it contracts, and in its various contracts for development projects. The Port strives to increase equity participation and ownership by MBEs and WBEs within all development projects. Our public finance practice is rooted in commercial real estate and the redevelopment of complex sites to stimulate private investment, job retention, and job creation. We offer unique tools such as the ability to issue tax-exempt debt, EB-5 financing, and tax increment financing, among others, and marshal additional state and local resources, including grants. These tools can significantly reduce the financial burden on MBEs, WBEs, and SBEs, making it easier for them to participate in our projects. Bringing our public finance tools to a private sector investment can create a winning combination of lower interest rates, sales tax exemption savings, longer-term/fixed-rate options, and potential reinvestment of capital dollars back into the project and community. Our approach to each project leads with economic equity and inclusion tailored to meet a development opportunity's unique needs.

The Port is committed to helping build and sustain strong MBEs, WBEs, and SBEs within the Cincinnati region. It empowers entrepreneurs, generates jobs, grows the tax base, and provides opportunities for wealth creation in every segment of society through neighborhood development, housing development, real estate ownership, and contracting.

All contractors, subcontractors, suppliers, developers, and service providers should have an equal opportunity to compete on contracts for services issued by The Port regardless of race, color, sex, gender, sexual orientation, or national origin. It is also the aspiration that a fair share of contracts

THE PORT Making Real Estate Work

are awarded to inclusive business enterprises to promote capacity building and scale through good faith and best efforts from those involved in economic and real estate development.

The Plan

The Port aspires to achieve a total target goal of 25% Minority Business Enterprise (MBEs), 7% Women Business Enterprise (WBEs), and 30% Small Business Enterprise (SBEs) for:

- o Construction
- Construction and General Supplies
- o Real Estate and Construction Professional Services
- o Other Non-Real Estate or Construction Professional Services

The Port strives to be viewed by the business community and the community at large as an organization that maximizes participation by MBEs, WBEs, and SBEs by building equity participation, contracting for services, and developing programs that scale these diverse companies to participate in Port managed and related projects through the following actions:

- Strive to be a proactive partner with local, state, and federal governments, businesses, and community organizations, providing equal opportunities to utilize the services of MBEs, WBEs, and SBEs and thereby creating a positive economic development environment.
- 2. Be diligent in its efforts to include MBEs, WBEs, and SBEs throughout its operations. This will play an important role in creating opportunities for increased participation and equity by those who have been historically excluded.
- 3. Support and encourage, where economically feasible, the participation of MBEs, WBEs, and SBEs through tenant/ownership in Port-managed and related projects through active recruitment, relationship facilitation, and aggressive information-sharing.
- 4. The Port is dedicated to utilizing programs such as the Minority Business Accelerator (MBA), the Ohio Minority Supplier Development Council (OMSDC), the Greater Cincinnati/Northern Kentucky African American Chamber of Commerce, the Urban League of Greater Cincinnati, the Hispanic Chamber of Commerce, and other business development organizations. These programs are instrumental in fostering partnership agreements between majority businesses and MBEs, WBEs, and SBEs, and we encourage all to participate in this inclusive process.

In addition, The Port will promote accountability for the efforts to encourage the aspirational goals, will participate in the contracting process in a way that will assist businesses in understanding the benefits of economic equity and inclusion, and help them in their efforts to promote those aspirational goals, and establish a program of continuing outreach to governmental, non-profit, and business communities to encourage the goals.

THE **PORT** Making Real Estate Work

Management Accountability

The Port requests from developers a process for clear accountability through ongoing follow-up and accurate measurement and reporting of inclusion results. This process ensures that all stakeholders are aware of and agree to the project's commitment to economic equity and inclusion, fostering trust and cooperation.

The Port will manage its Economic Equity and Inclusion efforts through staff and consultants in both its direct spending and the real estate projects it finances.

The Port and its managed entities direct spending: the business lines will be accountable directly to the Vice President of Economic Equity for results. The Vice President of Economic Equity, as the key driver of our economic equity and inclusion efforts, will provide the President and the Board of Directors with periodic progress in meeting the established goals.

For public finance projects, the business line will use the following approach:

- Introduce the project owner to our economic equity and inclusion policies at an initial meeting.
- Introduce the project owner to the Vice President of Economic Equity or an inclusion consultant retained by the Port.
- As part of our commitment to transparency and fairness, we require an inclusion plan and an attestation letter to be submitted to the Port prior to the project's Board of Directors approval. This process ensures that all stakeholders are aware of and agree to the project's commitment to economic equity and inclusion.
- As part of our commitment to accountability and continuous improvement, we require periodic reporting of actual results against the Plan to the Vice President, Economic Equity, or the inclusion consultant. This process allows us to track our progress, identify areas for improvement, and ensure that we are meeting our goals.
- Periodically report to the Board of Directors the aggregate results of projects in process. The Board of Directors plays a crucial role in overseeing our economic equity and inclusion efforts, ensuring that we are meeting our goals and holding us accountable for our commitments.

The Vice President, Economic Equity, the President, and individual members of the Board of Directors will assist the public finance team in communicating the importance of this Plan. When the Vice President, Economic Equity, and the Public Finance team identifies a perceived lack of reasonable best efforts by owners, developers or contractors, appropriate actions will be taken, including but not limited to, revisiting the inclusion plan, providing additional resources, or, in extreme cases, terminating the contract.