

Evanston & Westwood

New Construction Single-Family Dwellings

REQUEST FOR PROPOSALS



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Section 1 Introduction

Hamilton County Land Reutilization Corporation (Landbank) is seeking a professional and qualified contractor to provide services for the construction of four single-family homes to be located at 3416 Woodburn Ave, 3467 Greenlawn Ave, 3107 Hackberry St Cincinnati, Ohio 45207 & 3325 Hanna Ave Cincinnati, Ohio 45211.

Successful bidders must be able to commence work by December 16th, 2024, and complete the entire project no later than October 16th, 2025. Payment penalties will be included in the contract for the successful bidder if the awarded bidder is unable to meet deadlines.

The site is currently four vacant parcels of land that is located in the Evanston and Westwood neighborhoods. Pricing shall be based on the drawings and specifications provided. The goal of this project is to provide affordable housing for the residents of the Evanston and Westwood neighborhood.

Nothing in this RFP shall be construed to create any legal obligation on the part of the Landbank or any respondents. Landbank reserves the right, in its sole discretion, to amend, suspend, terminate, or reissue the RFP in whole or in part, at any stage. In no event shall the Landbank be liable to respondents for any cost or damages incurred in connection with the RFP process, including but not limited to, any and all costs, expenses, or fees related to this RFP. All supporting documentation submitted in response to this RFP will become the sole property of the Landbank. Respondents may also withdraw their interest in the RFP, in writing, at any point in time as more information becomes known.

This RFP is being emailed to prospective bidders, will be posted on both The Port’s and Landbank’s website (www.CincinnatiPort.org and www.HamiltonCountyLandbank.org). The Landbank encourages all qualified firms to apply.

Date of Issuance	10/04/2024
Requests for information Due	10/17/2024
Proposals Due	10/31/2024
Notification of Award	11/14/2024 (anticipated)
Execution of Contract	12/06/2024 (anticipated)
Commencement of Work	12/16/2024 (anticipated)



Section 2 Instructions to Bidders

Landbank shall not be obligated to accept the lowest price proposal but shall make an award in the best interests of the project.

Any Requests for Information (RFI) regarding this RFP must be submitted in writing either to the address below or by email to Deborah Robb at drobb@cincinnatiport.org and Muhammad Saram Waraich at mwaraich@cincinnatiport.org. RFIs shall be accepted no later than October 17th, 2024. A final Supplemental Instructions shall be issued no later than October 24th, 2024, concerning any RFIs received.

Hamilton County Land Reutilization Corporation
Attn: Deborah Robb
3 East 4th Street Suite 300
Cincinnati, Ohio 45202

All proposals must be received by October 31st, 2024 by 4:00pm at either the address shown above or by email to Deborah Robb at drobb@cincinnatiport.org and Muhammad Saram Waraich at mwaraich@cincinnatiport.org. Physical proposals must be submitted in a sealed envelope labeled with the project name, “Evanston & Westwood New Construction Single-Family Dwelling”, or emailed to drobb@cincinnatiport.org and mwaraich@cincinnatiport.org.

Landbank strives to continually have meaningful and substantial levels of participation by Minority Business Enterprises (MBEs), Women Business Enterprises (WBEs), and Small Business Enterprises (SBEs) in the services for which it contracts, and in its various contracts for development projects. Further, the landbank strives to increase the equity participation and/or ownership by MBEs and WBEs within those development projects.

The Landbank is committed to helping build and sustain strong MBEs, WBEs, and SBEs within the Greater Cincinnati community. The Landbank is further committed to empowering entrepreneurs, generating jobs, building tax base, and providing opportunities for wealth creation in every segment of society.

All contractors, subcontractors, suppliers, and service providers should have an equal opportunity to compete on contracts for services issued by the Port regardless of race, color, sex or national origin. It is also the aspiration that a fair share of contracts be awarded to small, minority, and women business enterprises. This will be promoted through the provision of educational opportunities, training, and a good faith effort by all involved to promote inclusion through locating and engaging qualified MBEs, WBEs, and SBEs. It is the Port’s expectation that this aspiration can be achieved.



While there are no set-asides or preferences for suppliers, providers or developers, the Landbank is committed to empowering MBEs, WBEs, and SBEs; and to that end the Landbank will be vigilant in monitoring encouraging and facilitating the satisfaction of its goals in relation to the participation by MBEs, WBEs, and SBEs in all Landbank-related work. The goals of the Landbank in this regard are:

1. To aspire to achieve a total target goal of 25% Minority Business Enterprise (MBEs), 7% Women Business Enterprise (WBEs), and 30% Small Business Enterprise (SBEs) for:
 - Construction
 - Services
 - Supplies
 - Professional Services
2. To require that all respondents to RFPs, RFQs, and other such solicitations for proposals, qualifications, or services commit and demonstrate, in writing, what best efforts they will make in order to meet these goals.
3. To work with the majority/prime contractors to track and support the sub-contractors they use on Landbank-related projects. The anticipated outcome is that they establish and maintain an Economic Inclusion Program for themselves, and for their future projects. The Landbank will assist them in finding subcontractors to support Landbank related project needs.
4. To use the criteria for certification in identifying minority and women owned businesses as defined by the National Minority Supplier Development Council (NMSDC) and the Women's Business Enterprise National Council (WBENC).
5. To accept certifications from the NMSDC, or the local affiliate council; the WBENC; the Small Business Administration (SBA); and local, state, and federal certifying organizations.
6. To accept certifications from the NMSDC, or the local affiliate council; the WBENC; the Small Business Administration (SBA); and local, state, and federal certifying organizations.
7. To require that all proposers or bidders submit an economic inclusion subcontractor utilization plan with their proposals, qualifications or bids. Failure to submit an economic inclusion subcontractor utilization plan with the proposals, qualifications or bids and other documentation that may be requested may deem the proposals, qualifications, or bids as non-responsive and may result in rejection of the proposals, qualifications or bids.



Section 3 Project Scope / Requirements

1. All work to be performed based on the drawings and specifications attached. Include all construction divisions from site work to finishes.
2. All dumpsters and required permits to be the responsibility of the selected contractor.
3. Any value engineering is encouraged but should be specifically called out on the proposal. Provide each value engineering item as a Voluntary Alternate listed on the proposal.
4. All finish materials and color selections shall be selected and approved by the owner. Bidder to assume standard building finish materials based on the plans and specifications. The goal of this project is to provide affordable housing in the Evanston & Westwood neighborhoods. It is the assumption on behalf of the owner that project materials will reflect this.
5. Any material allowances should be called out specifically in the proposal.
6. Construction of the homes shall conform to all City of Cincinnati Building Code criteria.
7. All OSHA regulations to be followed at all times.
8. Upon award, an overall construction schedule shall be provided to the Landbank.
9. The contractor warrants that the materials that it furnishes will be of good quality and new and will conform to the requirements of the contract. Any extended manufacturer's warranties to be provided to the owner upon completion of the project.
10. A final retainage of 10% (ten percent) of the total project budget may be held by the Landbank until both a "certificate of occupancy" or comparable equivalent, issued by the appropriate municipality, and a final inspection walk through with a representative of the Landbank.



Section 4 Project Administration

- I. Insurance Requirements - Contractor agrees to obtain, at its own expense, to have in force before commencing any work, and to maintain at all times while work is being performed under this Agreement, the following insurance:
 - a. Workers' Compensation Insurance in accordance with the requirements of the applicable laws of the State of Ohio; Stop-Gap Employer's Liability insurance with limits of not less than \$500,000; Bodily injury coverage of \$500,000 for each employee and \$500,000 in the aggregate (this may be provided as part of the Commercial General Liability policy).
 - b. Commercial General Liability Insurance, including contractual liability, bodily injury and property damage combined at a minimum of \$1,000,000 for each occurrence; personal and advertising injury coverage of \$1,000,000 for any one person or organization and \$1,000,000 in the aggregate. The policy should be endorsed to include:
 - i. A. Hamilton County Land Reutilization Corporation, the Port of Greater Cincinnati Development Authority (Management Company for the HCLRC) and any other persons or entities required by contract are to be additional insureds under ISO Additional Insured Endorsement CG 2010 11 85 or equivalent (attached hereto).
 - ii. Additional insured status must include ongoing operations as well as completed operations and work.
 - iii. Additional Insured status must be on a primary and non-contributory basis. Endorsement CG 2001 or equivalent (attached hereto).
 - iv. The commercial general liability insurance should also include a waiver of subrogation in favor of the Hamilton County Land Reutilization Corporation, Port of Greater Cincinnati Development Authority, and any other persons or entities required by contract to be additional insureds (suggested wording attached hereto).
 - v. The commercial general liability should include a minimum 30-day notice of cancellation provision to the Hamilton County Land Reutilization Corporation.
 - c. Automobile Insurance for owned, non-owned, and hired vehicles for a combined single limit of not less than \$1,000,000 for each occurrence. The policy should be endorsed to include the Hamilton County Land Reutilization Corporation, Port of Greater Cincinnati Development Authority, and any other persons or entities required by contract to be additional insureds on a primary and non-contributory basis.
 - d. Umbrella/Excess Liability Insurance, with coverage for Commercial General Liability and Automobile Liability with minimum limits of \$3,000,000 for each occurrence and \$3,000,000 aggregate. The policy should be endorsed to include:



- i. Hamilton County Land Reutilization Corporation, Port of Greater Cincinnati Development Authority, and any other persons or entities required by contract are to be additional insureds.
 - ii. Additional insured status must include ongoing operations as well as completed operations and work.
 - iii. Additional Insured status must be on a primary and non-contributory basis.
 - iv. The umbrella/excess liability should also include a waiver of subrogation in favor of the Hamilton County Land Reutilization Corporation, Port of Greater Cincinnati Development Authority, and any other persons or entities required by contract to be additional insureds.
- II. Lien Waivers
 - a. Signed and notarized lien waivers are required from contractors and all sub-contractors when submitting biweekly invoices.



Section 5 Proposal Requirements

All proposals shall be organized in the following manner:

1. Contact Information Name, address, phone number, and email of the individual or firm. If a firm, the name and title of the individual authorized to negotiate contract terms and make binding commitments shall be included and identified. If proposers bid as a team, bidder must identify team members as well as the key point of contact for the Port staff. Each person's role and responsibilities must be identified.
2. Please indicate any cost savings for completing multiple homes, if applicable, on the proposal as a Voluntary Alternate.
3. Experience:
 - a. Description of the firm's resources – Please provide the names of all personnel who will be assigned to work with the Landbank, including previous experience.
 - b. Provide images and description of past projects to demonstrate experience with projects of a similar nature. Descriptions should include Key Information such as size, cost, location, year built, and any innovative aspects of the project, etc. If no prior project experience has been obtained, please state as such.
4. References: Provide a list of up to five references with contact information, preferably representatives of municipalities or owners of other projects of a similar nature you have completed. If this is not applicable, please state as such.

After written proposals have been reviewed, discussions with prospective firms may or may not be required to clarify any portions of the proposal.

The owner (Landbank) reserves the right to select multiple contractors to complete all four homes. Each contractor is to assume being awarded a maximum of four homes and a minimum of one home by December 2024.



NOTES:

1. UTILITY & TOPOGRAPHIC INFORMATION SHOWN REPRESENTS FIELD OBSERVATIONS OBTAINED FOR THIS PLOT PLAN.
2. BUILDER TO VERIFY THE LOCATION AND ELEVATION OF ALL SANITARY AND WATER SERVICE LATERALS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE DIFFERENT FROM PLAN, CONTACT THE ENGINEER/SURVEYOR.
3. FINISH GRADE SHALL SLOPE MIN. 6" IN FIRST 10' FROM NEW RESIDENCE & FINISH GRADE FOR DISTURBED PORTION OF SITE SHALL HAVE MAX. SLOPE OF 3:1.
4. ALL FOOTING, FOUNDATION DRAINS AND DOWNSPOUTS ARE TO CONNECT TO STORM SEWERS OR OTHER STORM DRAINAGE FACILITIES.
5. DISCHARGE LOCATION OF ALL DOWNSPOUTS TO BE A MINIMUM OF 10' FROM ADJACENT PROPERTY LINE.
6. IF THE LOWEST FLOOR ELEVATION IS BELOW THE RIM ELEVATION OF THE UPSTREAM MANHOLE, THE TAP MUST HAVE BACKFLOW PREVENTION INSTALLED OR BE PUMPED TO GRAVITY.
7. PROP. 6" SAN. TAP TO BE 6" PVC SDR-35 @ 2.00% MIN. SLOPE.
8. THIS HOUSE IS SITUATED AT OR NEAR THE MINIMUM SETBACK LINE. BUILDER TO VERIFY FOUNDATION FORMS PRIOR TO CONSTRUCTION.

EROSION NOTES:
 BUILDER IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL AS LISTED BELOW.

ALL GRADED AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE IN ACCORDANCE WITH STATE HIGHWAY ITEM 659.

EROSION CONTROL WILL BE ACCOMPLISHED BY STRATEGICALLY PLACING SILT FENCES IN SWALES AND RUNOFF AREAS. SILT FENCES TO BE REPLACED AND EXPANDED AS NECESSARY TO AFFORD NECESSARY CONTROL.

SILT FENCES TO BE ENTRENCHED 4-6 INCHES BELOW GRADE.

ALL EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY STRIPPING OF VEGETATION OR EXCAVATION.

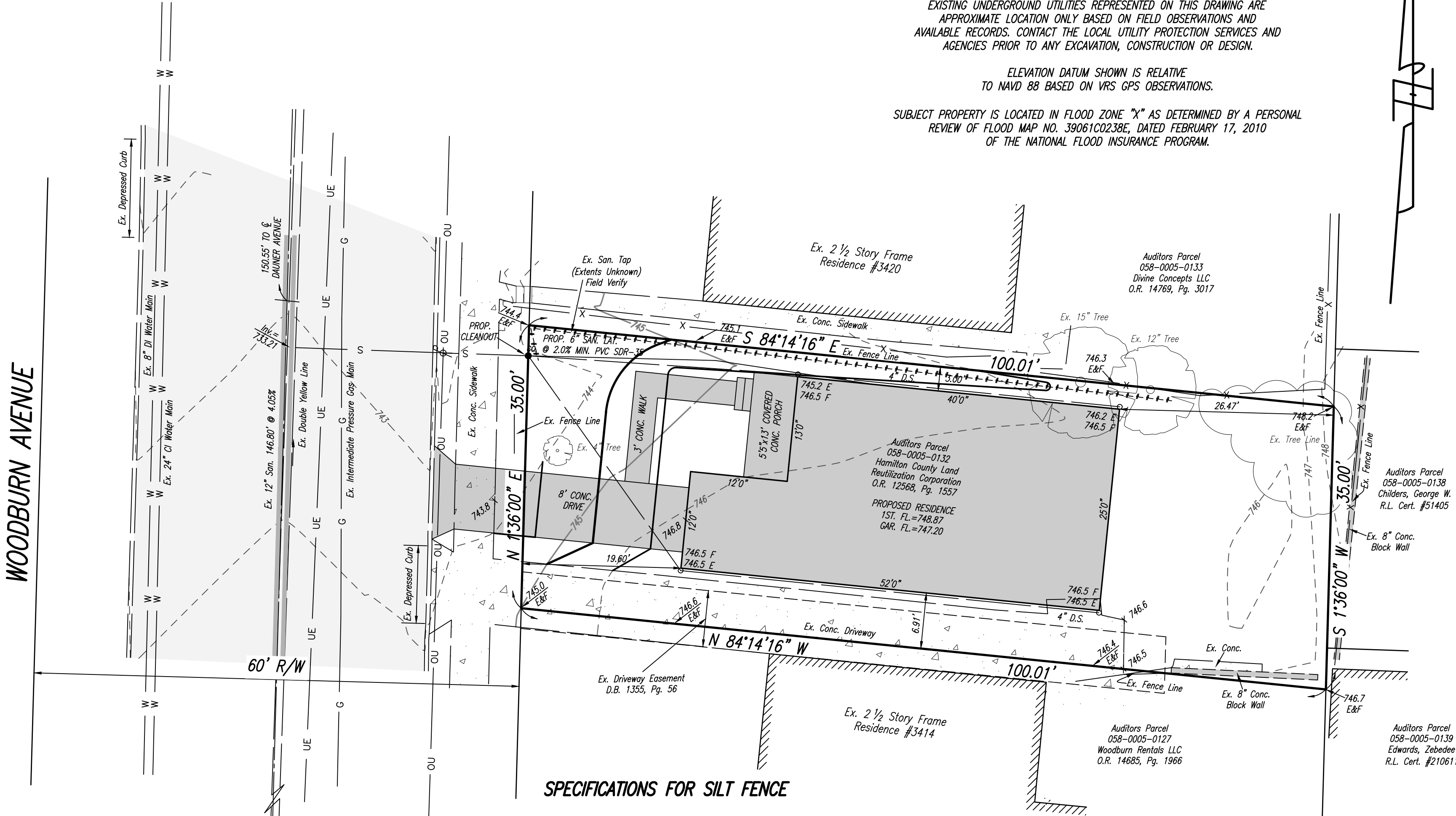
LEGEND

ϕ	Ex. Utility Pole
Ex. San. MH \bigcirc	Ex. Sanitary Sewer Manhole
OU	Ex. Overhead Utility Lines
UE	Ex. Underground Elec. Lines

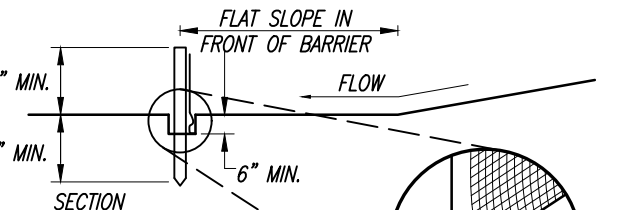
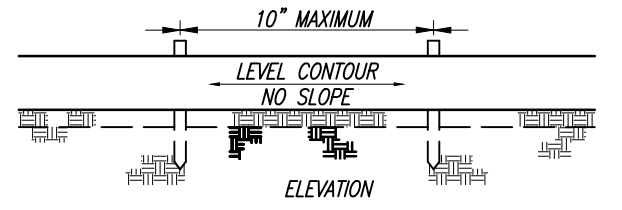
EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES AND AGENCIES PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DESIGN.

ELEVATION DATUM SHOWN IS RELATIVE TO NAVD 88 BASED ON VRS GPS OBSERVATIONS.

SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" AS DETERMINED BY A PERSONAL REVIEW OF FLOOD MAP NO. 39061C0238E, DATED FEBRUARY 17, 2010 OF THE NATIONAL FLOOD INSURANCE PROGRAM.



SPECIFICATIONS FOR SILT FENCE



AVERAGE FRONT YARD SETBACK	
ADDRESS	SETBACK
#3346	24.1'
#3422-3424	24.4'
#3420	21.4'
#3416	SUBJECT PROPERTY
#3414	22.6'
#3410	23.0'
#3406	19.6'
#3400	2.0'
AVERAGE FRONT YARD: 19.59'	

ZONING INFO
 ZONE: "RMX" RESIDENTIAL MIX (1-3 FAMILY UNITS)
 FRONT YARD: 20' (19.59' AVERAGING)
 SIDE YARD: 0' ONE, 5' TOTAL
 REAR YARD: 20'



PROPERTY ADDRESS:
 3416 WOODBURN AVENUE
 CINCINNATI, OHIO 45207

BUILDER:
 THE PORT
 3 EAST FOURTH STREET
 SUITE 300
 CINCINNATI, OHIO 45202

SEE THE RAINWATER AND LAND DEVELOPMENT, OHIO'S STANDARDS FOR STORMWATER MANAGEMENT, LAND DEVELOPMENT AND URBAN STREAM PROTECTION MANUAL, CURRENT EDITION, FOR SILT FENCE SPECIFICATIONS.

PLOT PLAN

SECTION-3, TOWN-3, F.RANGE-2
 MIAMI PURCHASE, MILL CREEK TOWNSHIP
 CITY OF CINCINNATI, HAMILTON COUNTY, OHIO



REVISIONS	

SCALE 1" = 10'	DATE 9-26-24	JOB NO. 24-0210	DRAWN G.R.	1
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DWG.: GR-PLPN

October 2, 2024

**Subject: Request for Availability of Sewer Service APPROVAL
Single-Family - 1
Auditor's Parcel Number(s) 0058-0005-0132
3416 Woodburn Avenue
Cincinnati
APD Number CMD2400196**

To Whom It May Concern:

The Metropolitan Sewer District of Greater Cincinnati (MSD) received a Request for Availability of Sewer Service (RASS) for the subject property. We reviewed information provided, on-site conditions, and our database to determine the feasibility of a sanitary connection to a nearby gravity sewer system. MSD's review and findings are based upon MSD Rules and Regulations, the Ohio Administrative Code 3701-29-06 (I), and best engineering judgement.

Sanitary sewer service is **available** for the subject property via connection to the existing public sewer in Woodburn Avenue. If the property owner chooses to pursue a connection to MSD's system, all work shall be subject to the following requirements and conditions:

1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at <https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/>.
2. Special considerations should be made to protect MSD's infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor's expense. Once the connection point to the sewer has been uncovered, MSD's on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
3. In instances where the overflow rim of the lowest plumbing fixture in any proposed structure is below the rim elevation of the next upstream manhole in the sewer system to which the proposed structure is connected, a backwater valve shall be installed per Section 614 of the MSD Rules and Regulations.
4. A tap permit must be obtained per Section 1201 of the MSD Rules and Regulations. After the tap permit is issued, the sewer contractor must contact MSD WWE Inspections at 513.244.5537 or MSDWWEInspections@cincinnati-oh.gov for sewer inspection.
5. All sewer tappers making building sewer connections to the MSD sewer system shall be licensed and bonded by MSD per Section 1212 of the MSD Rules and Regulations.
6. The person to whom a tap permit or special permit is issued shall be responsible for obtaining any additional permits required to open-cut any public street, road, or highway from the appropriate public authority having jurisdiction per Section 1210 of the MSD Rules and Regulations.
7. All storm and sanitary sewer flows shall be separated within the development site before discharging to the combined sewer system per Section 302 of the MSD Rules and regulations.
8. For additional site stormwater requirements within the City of Cincinnati, contact the City of Cincinnati's Stormwater Management Utility (SMU) at 513.591.5050.

The conditional availability of sewer service as described in this letter is effective until one year from the date of this letter and may be extended for one additional year per Article V, Section 510 of the MSD Rules

and Regulations. Time extension requests may be made within thirty (30) days of the expiration date of this application through the MSD website at the following link: [REQUEST for AVAILABILITY of SEWER SERVICE Form Webpage](#). Subsequent extension requests may or may not be granted depending on the availability of sewer credits, the hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

This determination of sewer availability is based on the best information available at this time to the Metropolitan Sewer District of Greater Cincinnati. It is subject to modification or revocation resulting from regulatory action taken by the United States Environmental Protection Agency, the State of Ohio Environmental Protection Agency, federal consent decrees, or other judicial action ordered by federal courts of the United States Government or the courts of the State of Ohio.

If you have any questions, please call William Weinheimer at 513.882.8464 or me at 513.882.8468.

Sincerely,



Robert Franklin

MSD-ODOT Liaison | MSD Availability | MSD Utility Review
Metropolitan Sewer District of Greater Cincinnati (MSD)
Cell: 513.882.8468 | **Email:** Rob.Franklin@cincinnati-oh.gov

RF: ww

c: Availability File, Cincinnati, Katherine Keough-Jurs

IDEAL SUBDIVISION
P.B. 22, PG. 5

LOT 10
Auditors Parcel
0058-0005-0012
Chapman, Eric

LOT 8
Auditors Parcel
0058-0005-0010
WCB Limited
Liability Company

LOT 13
Auditors Parcel
0058-0005-0015
Neighborhood
Enrichment LLC

LOT 11
Auditors Parcel
0058-0005-0013
Hamilton County Land
Reutilization Corp.

LOT 12
Auditors Parcel
0058-0005-0014
3465 Greenlawn
Avenue LLC

EROSION NOTES:
BUILDER IS RESPONSIBLE FOR ALL INSTALLATION AND
MAINTENANCE OF EROSION AND SEDIMENT CONTROL AS
LISTED BELOW.

ALL GRADED AREAS THAT HAVE BEEN EXPOSED OR
LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE
TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE
SEEDED AND MULCHED AS SOON AS POSSIBLE IN
ACCORDANCE WITH STATE HIGHWAY ITEM 659.

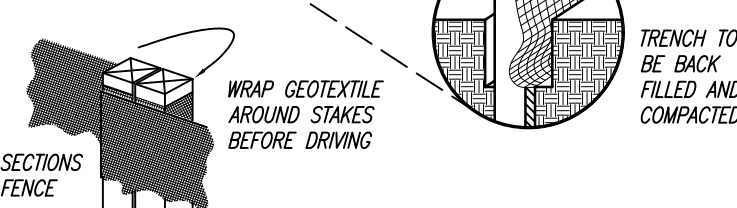
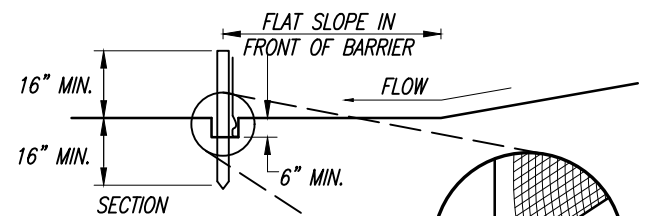
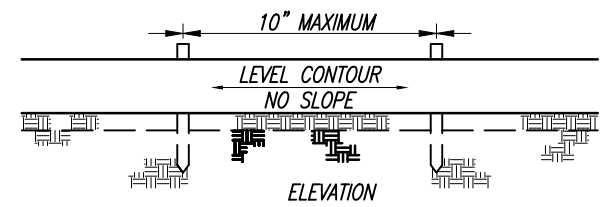
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SILT FENCES TO BE ENTRENCHED 4-6 INCHES BELOW
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ALL EROSION CONTROL MEASURES MUST BE IN PLACE
PRIOR TO ANY STRIPPING OF VEGETATION OR
EXCAVATION.

GREENLAWN AVENUE

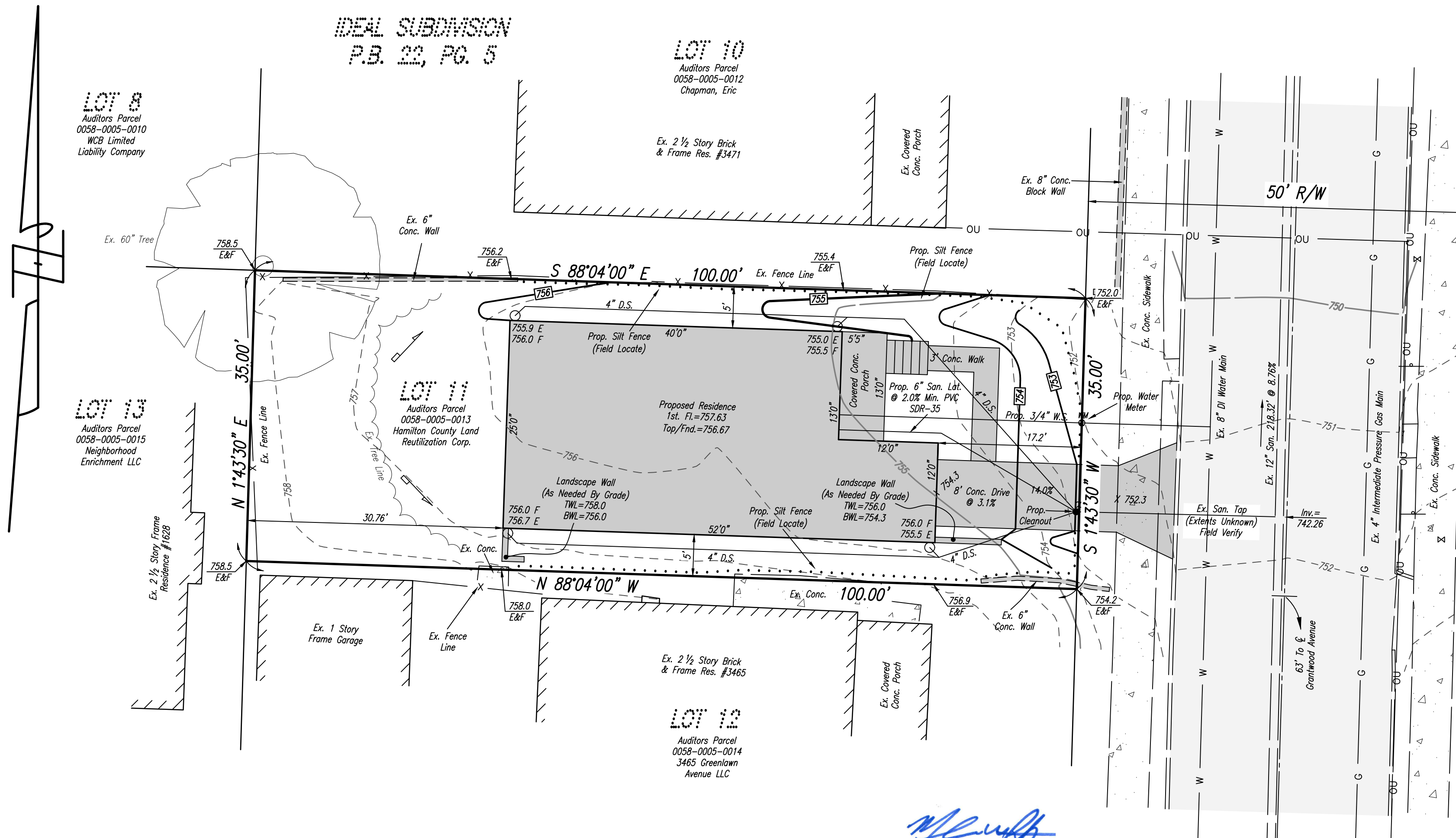
SPECIFICATIONS FOR SILT FENCE



SEE THE RAINWATER AND LAND DEVELOPMENT, OHIO'S STANDARDS
FOR STORMWATER MANAGEMENT, LAND DEVELOPMENT AND URBAN
STREAM PROTECTION MANUAL, CURRENT EDITION, FOR SILT FENCE
SPECIFICATIONS.

PLOT PLAN

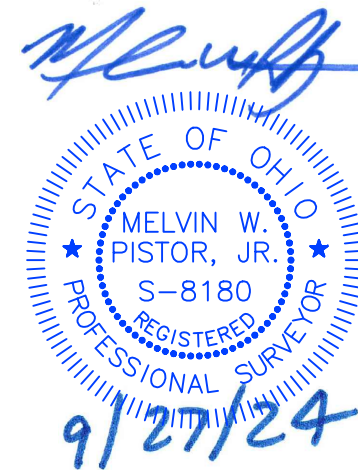
THIS DRAWING IS INTENDED FOR BUILDING PERMIT
PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY
SURVEY - NOT INTENDED FOR LAND TRANSFER



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



LEGEND

	Ex. Sign
	Ex. Water Valve
	Ex. Sanitary Sewer Manhole
	Ex. Overhead Utility Lines
	Ex. Underground Utility Lines

EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE
APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND
AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES
AND AGENCIES PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DESIGN.

ELEVATION DATUM SHOWN IS BASED ON MSD SEWER RECORDS.

SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" AS DETERMINED BY
A PERSONAL REVIEW OF FLOOD MAP NO. 39061C0238E, DATED FEBRUARY
17, 2010 OF THE NATIONAL FLOOD INSURANCE PROGRAM.

ZONING INFO
ZONE: RMX-MH
(RESIDENTIAL SINGLE-FAMILY - MIDDLE HOUSING "MH")
FRONT YARD: 20' (17.2' AVERAGING)
SIDE YARD: 0' MIN. / 5' TOTAL
REAR YARD: 20'

AVERAGE FRONT YARD SETBACK	
ADDRESS	SETBACK
#3465	17.3'
#3467	SUBJECT PROPERTY
#3471	17.1'
AVERAGE FRONT YARD: 17.2'	

- NOTES:
- ALL FOOTING, FOUNDATION DRAINS AND DOWNSPOUTS ARE TO CONNECT TO STORM SEWER OR OTHER STORM DRAINAGE FACILITY.
 - BUILDER TO VERIFY THE LOCATION AND ELEVATION OF ALL SANITARY AND WATER SERVICE LATERALS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE DIFFERENT FROM PLAN, CONTACT THE ENGINEER/SURVEYOR.
 - TOPOGRAPHIC INFORMATION SHOWN REPRESENTS FIELD OBSERVATIONS OBTAINED FOR THIS PLOT PLAN.
 - UTILITY INFORMATION OBTAINED FROM AVAILABLE RECORDS AND FIELD OBSERVATION.
 - FINISH GRADE SHALL SLOPE MIN. 6" IN FIRST 10' FROM NEW RESIDENCE & FINISH GRADE FOR DISTURBED PORTION OF SITE SHALL HAVE MAX. SLOPE OF 3:1.
 - IF THE LOWEST FLOOR ELEVATION IS BELOW THE RIM ELEVATION OF THE UPSTREAM MANHOLE, THE TAP MUST HAVE BACKFLOW PREVENTION INSTALLED OR BE PUMPED TO GRAVITY.
 - PROP. 6" SAN. TAP TO BE 6" PVC SDR-35 @ 2% MIN. SLOPE.
 - THIS HOUSE IS SITUATED AT OR NEAR THE MINIMUM SETBACKS. BUILDER TO VERIFY FOUNDATION FORMS PRIOR TO CONSTRUCTION.
 - SANITARY SEWER IS SHALLOW. BUILDER TO VERIFY LATERAL ELEVATION PRIOR TO ESTABLISHING BASEMENT FLOOR GRADE. LOWER LEVEL MAY REQUIRE HANGING SEWER OR EJECTOR PUMP DEPENDING ON SEWER INVERT ELEVATION AT THE END OF TAP.

PROPERTY ADDRESS:
3467 GREENLAWN AVENUE
CINCINNATI, OHIO 45207

BUILDER:
THE PORT
3 EAST FOURTH STREET
SUITE 300
CINCINNATI, OHIO 45202

REVISIONS	IDEAL SUBDIVISION SECTION-3, TOWN-3, F.RANGE-2 CITY OF CINCINNATI, HAMILTON COUNTY, OHIO			
 Abercrombie & Associates, Inc. Civil Engineering + Surveying 8111 Cheviot Road, Suite 200 • Cincinnati, Ohio 45247 513-385-5757 • www.abercrombie-associates.com				
SCALE 1"=10'	DATE 9-27-24	JOB NO. 24-0207	DRAWN R.B.	1
DWG.: RB-PLPN-10 SCALE				

October 2, 2024

**Subject: Request for Availability of Sewer Service APPROVAL
Single-Family - 1
Auditor's Parcel Number(s) 0058-0005-0013
3467 Greenlawn Avenue
Cincinnati
APD Number CMD2400195**

To Whom It May Concern:

The Metropolitan Sewer District of Greater Cincinnati (MSD) received a Request for Availability of Sewer Service (RASS) for the subject property. We reviewed information provided, on-site conditions, and our database to determine the feasibility of a sanitary connection to a nearby gravity sewer system. MSD's review and findings are based upon MSD Rules and Regulations, the Ohio Administrative Code 3701-29-06 (I), and best engineering judgement.

Sanitary sewer service is **available** for the subject property via connection to the existing public sewer in Greenlawn Avenue. If the property owner chooses to pursue a connection to MSD's system, all work shall be subject to the following requirements and conditions:

1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at <https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/>.
2. Special considerations should be made to protect MSD's infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor's expense. Once the connection point to the sewer has been uncovered, MSD's on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
3. In instances where the overflow rim of the lowest plumbing fixture in any proposed structure is below the rim elevation of the next upstream manhole in the sewer system to which the proposed structure is connected, a backwater valve shall be installed per Section 614 of the MSD Rules and Regulations.
4. A tap permit must be obtained per Section 1201 of the MSD Rules and Regulations. After the tap permit is issued, the sewer contractor must contact MSD WWE Inspections at 513.244.5537 or MSDWWEInspections@cincinnati-oh.gov for sewer inspection.
5. All sewer tappers making building sewer connections to the MSD sewer system shall be licensed and bonded by MSD per Section 1212 of the MSD Rules and Regulations.
6. The person to whom a tap permit or special permit is issued shall be responsible for obtaining any additional permits required to open-cut any public street, road, or highway from the appropriate public authority having jurisdiction per Section 1210 of the MSD Rules and Regulations.
7. All storm and sanitary sewer flows shall be separated within the development site before discharging to the combined sewer system per Section 302 of the MSD Rules and regulations.
8. For additional site stormwater requirements within the City of Cincinnati, contact the City of Cincinnati's Stormwater Management Utility (SMU) at 513.591.5050.

The conditional availability of sewer service as described in this letter is effective until one year from the date of this letter and may be extended for one additional year per Article V, Section 510 of the MSD Rules

and Regulations. Time extension requests may be made within thirty (30) days of the expiration date of this application through the MSD website at the following link: [REQUEST for AVAILABILITY of SEWER SERVICE Form Webpage](#). Subsequent extension requests may or may not be granted depending on the availability of sewer credits, the hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

This determination of sewer availability is based on the best information available at this time to the Metropolitan Sewer District of Greater Cincinnati. It is subject to modification or revocation resulting from regulatory action taken by the United States Environmental Protection Agency, the State of Ohio Environmental Protection Agency, federal consent decrees, or other judicial action ordered by federal courts of the United States Government or the courts of the State of Ohio.

If you have any questions, please call William Weinheimer at 513.882.8464 or me at 513.882.8468.

Sincerely,

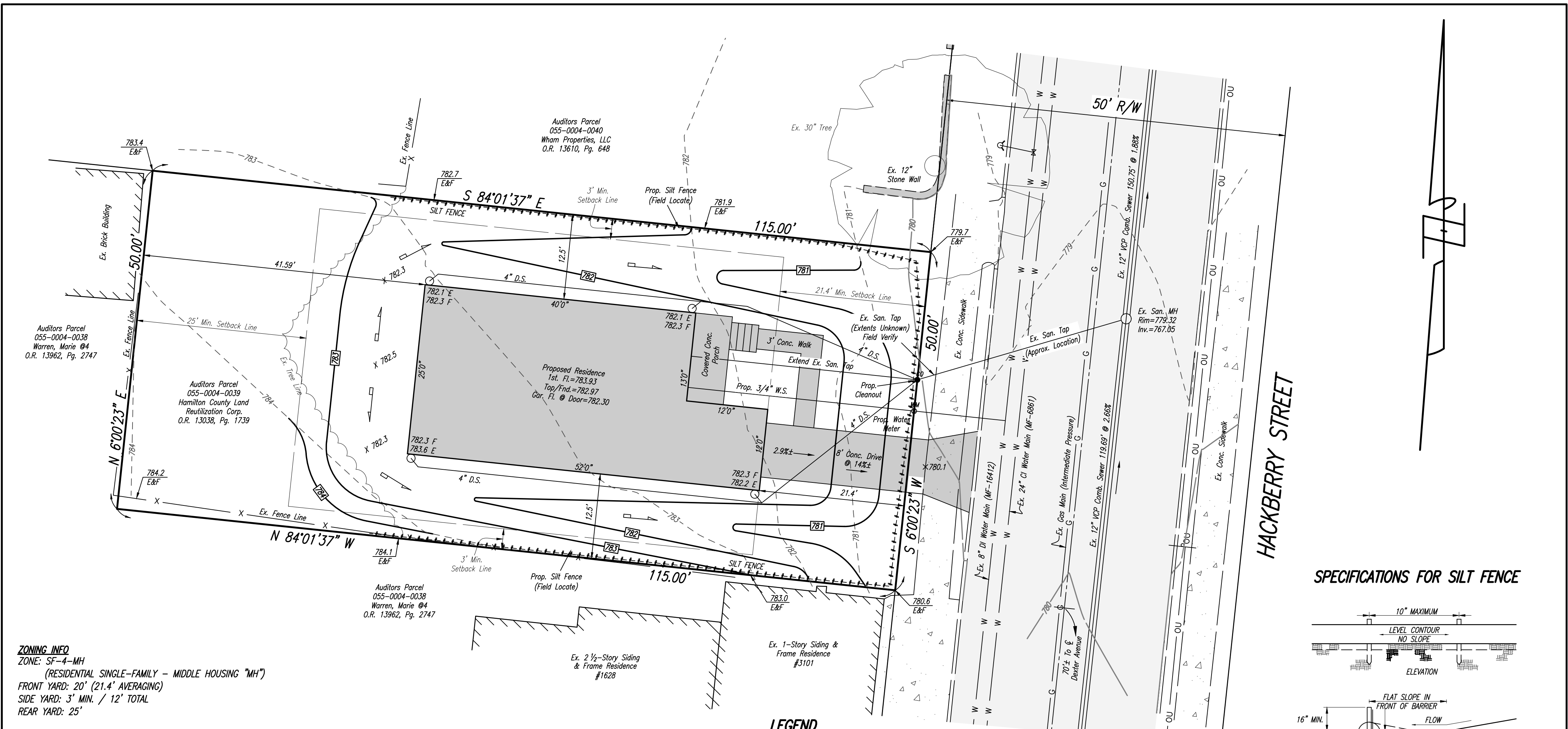


Robert Franklin

MSD-ODOT Liaison | MSD Availability | MSD Utility Review
Metropolitan Sewer District of Greater Cincinnati (MSD)
Cell: 513.882.8468 | **Email:** Rob.Franklin@cincinnati-oh.gov

RF: ww

c: Availability File, Cincinnati, Katherine Keough-Jurs



ZONING INFO
 ZONE: SF-4-MH
 (RESIDENTIAL SINGLE-FAMILY - MIDDLE HOUSING "MH")
 FRONT YARD: 20' (21.4' AVERAGING)
 SIDE YARD: 3' MIN. / 12' TOTAL
 REAR YARD: 25'

AVERAGE FRONT YARD SETBACK	
ADDRESS	SETBACK
#3101	1.5'
#3107	SUBJECT PROPERTY
#3111	20' (ZONING)
#3113	26.3'
#3115	26.2'
#3119	24.6'
#3121	24.5'
#3123	24.1'
#3125	20' (ZONING)
#3127	20' (ZONING)
#3129	23.3'
#3129	24.4'
AVERAGE FRONT YARD: 21.4'	

PROPERTY ADDRESS:
 3107 HACKBERRY STREET
 CINCINNATI, OHIO 45207

BUILDER:
 THE PORT
 3 EAST FOURTH STREET
 SUITE 300
 CINCINNATI, OHIO 45202

- NOTES:**
- ALL FOOTING, FOUNDATION DRAINS AND DOWNSPOUTS ARE TO CONNECT TO STORM SEWER OR OTHER STORM DRAINAGE FACILITY.
 - BUILDER TO VERIFY THE LOCATION AND ELEVATION OF ALL SANITARY AND WATER SERVICE LATERALS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE DIFFERENT FROM PLAN, CONTACT THE ENGINEER/SURVEYOR.
 - TOPOGRAPHIC INFORMATION SHOWN REPRESENTS FIELD OBSERVATIONS OBTAINED FOR THIS PLOT PLAN.
 - UTILITY INFORMATION OBTAINED FROM AVAILABLE RECORDS AND FIELD OBSERVATION.
 - FINISH GRADE SHALL SLOPE MIN. 6" IN FIRST 10' FROM NEW RESIDENCE & FINISH GRADE FOR DISTURBED PORTION OF SITE SHALL HAVE MAX. SLOPE OF 3:1.
 - IF THE LOWEST FLOOR ELEVATION IS BELOW THE RIM ELEVATION OF THE UPSTREAM MANHOLE, THE TAP MUST HAVE BACKFLOW PREVENTION INSTALLED OR BE PUMPED TO GRAVITY.
 - PROP. 6" SAN. TAP TO BE 6" PVC SDR-35 @ 2% MIN. SLOPE.
 - THIS HOUSE IS SITUATED AT OR NEAR THE MINIMUM SETBACKS. BUILDER TO VERIFY FOUNDATION FORMS PRIOR TO CONSTRUCTION.
 - SANITARY SEWER IS SHALLOW. BUILDER TO VERIFY LATERAL ELEVATION PRIOR TO ESTABLISHING BASEMENT FLOOR GRADE. LOWER LEVEL MAY REQUIRE HANGING SEWER OR EJECTOR PUMP DEPENDING ON SEWER INVERT ELEVATION AT THE END OF TAP.

LEGEND

	Ex. Sign
	Ex. Fire Hydrant
	Ex. Water Valve
	Ex. Sanitary Sewer Manhole
	Ex. Overhead Utility Lines

EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES AND AGENCIES PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DESIGN.

ELEVATION DATUM SHOWN IS RELATIVE TO SANITARY SEWER RECORDS OF METROPOLITAN SEWER DISTRICT OF GREATER CINCINNATI

SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" AS DETERMINED BY A PERSONAL REVIEW OF FLOOD MAP NO. 39061C0238E, DATED FEBRUARY 17, 2010 OF THE NATIONAL FLOOD INSURANCE PROGRAM.

EROSION NOTES:
 BUILDER IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL AS LISTED BELOW.

ALL GRADED AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE IN ACCORDANCE WITH STATE HIGHWAY ITEM 659.

EROSION CONTROL WILL BE ACCOMPLISHED BY STRATEGICALLY PLACING SILT FENCES IN SWALES AND RUNOFF AREAS. SILT FENCES TO BE REPLACED AND EXPANDED AS NECESSARY TO AFFORD NECESSARY CONTROL.

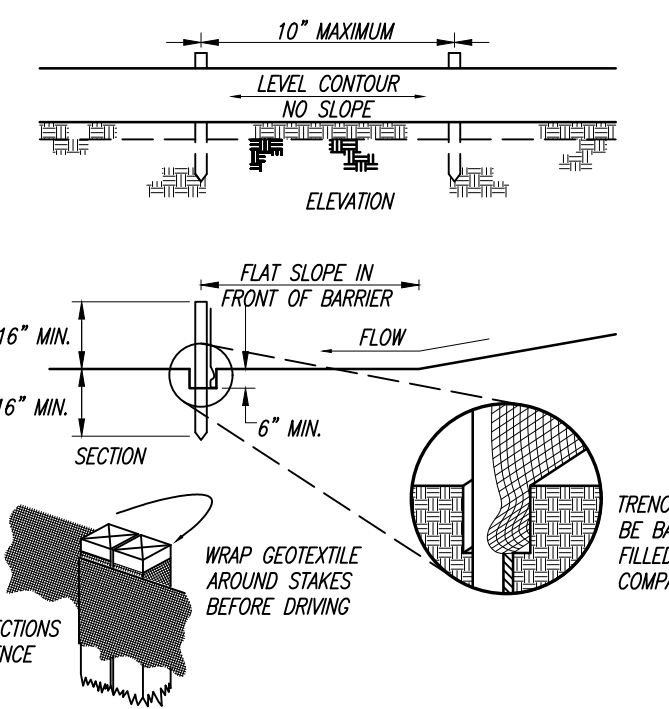
SILT FENCES TO BE ENTRENCHED 4-6 INCHES BELOW GRADE.

ALL EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY STRIPPING OF VEGETATION OR EXCAVATION.



HACKBERRY STREET

SPECIFICATIONS FOR SILT FENCE



SEE THE RAINWATER AND LAND DEVELOPMENT, OHIO'S STANDARDS FOR STORMWATER MANAGEMENT, LAND DEVELOPMENT AND URBAN STREAM PROTECTION MANUAL, CURRENT EDITION, FOR SILT FENCE SPECIFICATIONS.

PLOT PLAN

THIS DRAWING IS INTENDED FOR BUILDING PERMIT PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY - NOT INTENDED FOR LAND TRANSFER

REVISIONS	SECTION-2, TOWN-3, F.RANGE-2 MIAMI PURCHASE, CITY OF CINCINNATI HAMILTON COUNTY, OHIO			
	 Abercrombie & Associates, Inc. Civil Engineering + Surveying 8111 Cheviot Road, Suite 200 • Cincinnati, Ohio 45247 513-385-5757 • www.abercrombie-associates.com			
SCALE 1"=10'	DATE 9-19-24	JOB.NO. 24-0208	DRAWN R.B.	1 1

DWG.: RB-BNTP



October 2, 2024

**Subject: Request for Availability of Sewer Service APPROVAL
Single-Family - 1
Auditor's Parcel Number(s) 0055-0004-0039
3107 Hackberry Street
Cincinnati
APD Number CMD2400198**

To Whom It May Concern:

The Metropolitan Sewer District of Greater Cincinnati (MSD) received a Request for Availability of Sewer Service (RASS) for the subject property. We reviewed information provided, on-site conditions, and our database to determine the feasibility of a sanitary connection to a nearby gravity sewer system. MSD's review and findings are based upon MSD Rules and Regulations, the Ohio Administrative Code 3701-29-06 (I), and best engineering judgement.

Sanitary sewer service is **available** for the subject property via connection to the existing public sewer in Hackberry Street. If the property owner chooses to pursue a connection to MSD's system, all work shall be subject to the following requirements and conditions:

1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at <https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/>.
2. Special considerations should be made to protect MSD's infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor's expense. Once the connection point to the sewer has been uncovered, MSD's on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
3. In instances where the overflow rim of the lowest plumbing fixture in any proposed structure is below the rim elevation of the next upstream manhole in the sewer system to which the proposed structure is connected, a backwater valve shall be installed per Section 614 of the MSD Rules and Regulations.
4. A tap permit must be obtained per Section 1201 of the MSD Rules and Regulations. After the tap permit is issued, the sewer contractor must contact MSD WWE Inspections at 513.244.5537 or MSDWWEInspections@cincinnati-oh.gov for sewer inspection.
5. All sewer tappers making building sewer connections to the MSD sewer system shall be licensed and bonded by MSD per Section 1212 of the MSD Rules and Regulations.
6. The person to whom a tap permit or special permit is issued shall be responsible for obtaining any additional permits required to open-cut any public street, road, or highway from the appropriate public authority having jurisdiction per Section 1210 of the MSD Rules and Regulations.
7. All storm and sanitary sewer flows shall be separated within the development site before discharging to the combined sewer system per Section 302 of the MSD Rules and regulations.
8. For additional site stormwater requirements within the City of Cincinnati, contact the City of Cincinnati's Stormwater Management Utility (SMU) at 513.591.5050.

The conditional availability of sewer service as described in this letter is effective until one year from the date of this letter and may be extended for one additional year per Article V, Section 510 of the MSD Rules

and Regulations. Time extension requests may be made within thirty (30) days of the expiration date of this application through the MSD website at the following link: [REQUEST for AVAILABILITY of SEWER SERVICE Form Webpage](#). Subsequent extension requests may or may not be granted depending on the availability of sewer credits, the hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

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If you have any questions, please call William Weinheimer at 513.882.8464 or me at 513.882.8468.

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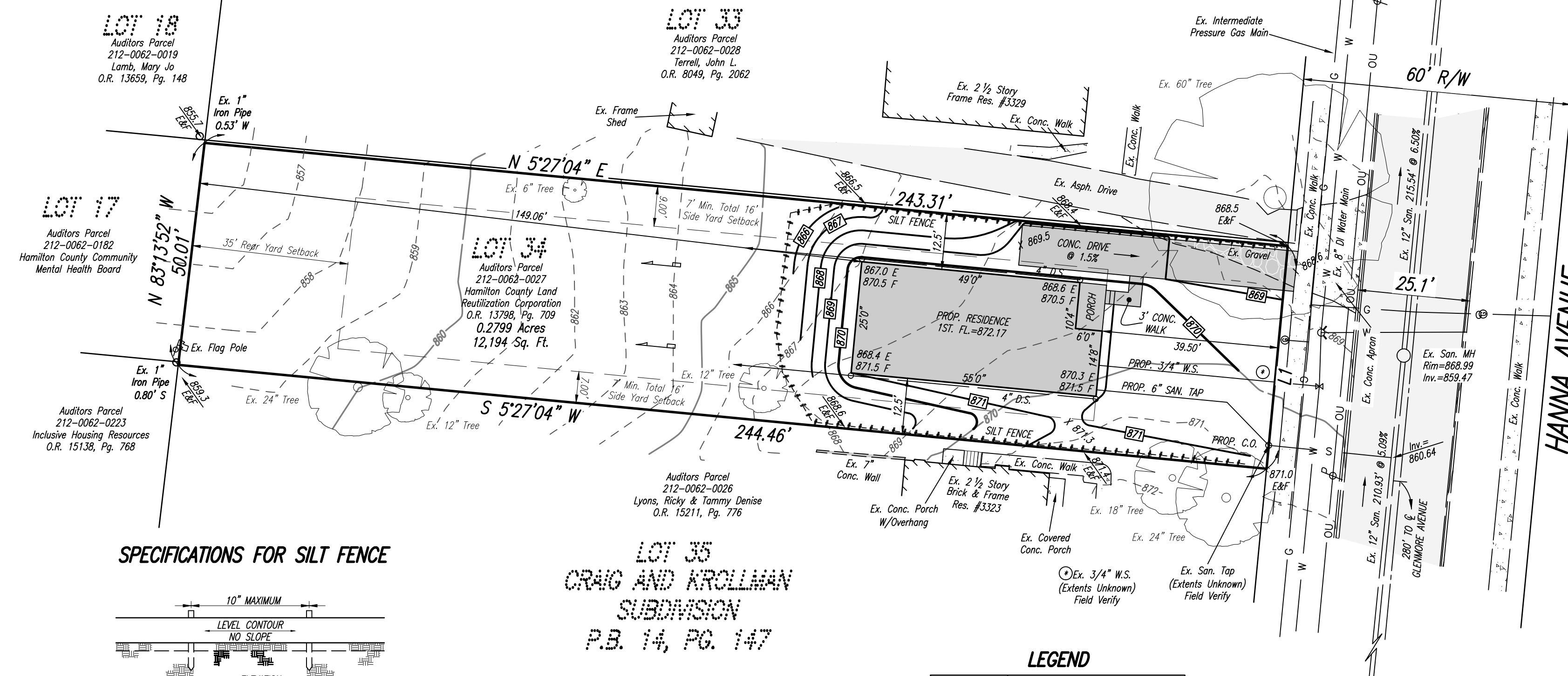


Robert Franklin

MSD-ODOT Liaison | MSD Availability | MSD Utility Review
Metropolitan Sewer District of Greater Cincinnati (MSD)
Cell: 513.882.8468 | Email: Rob.Franklin@cincinnati-oh.gov

RF: ww

c: Availability File, Cincinnati, Katherine Keough-Jurs



- NOTES:**
1. UTILITY & TOPOGRAPHIC INFORMATION SHOWN REPRESENTS FIELD OBSERVATIONS OBTAINED FOR THIS PLOT PLAN.
 2. BUILDER TO VERIFY THE LOCATION AND ELEVATION OF ALL SANITARY AND WATER SERVICE LATERALS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE DIFFERENT FROM PLAN, CONTACT THE ENGINEER/SURVEYOR.
 3. FINISH GRADE SHALL SLOPE MIN. 6" IN FIRST 10' FROM NEW RESIDENCE & FINISH GRADE FOR DISTURBED PORTION OF SITE SHALL HAVE MAX. SLOPE OF 3:1.
 4. ALL FOOTING, FOUNDATION DRAINS AND DOWNSPOUTS ARE TO CONNECT TO STORM SEWERS OR OTHER STORM DRAINAGE FACILITIES.
 5. DISCHARGE LOCATION OF ALL DOWNSPOUTS TO BE A MINIMUM OF 10' FROM ADJACENT PROPERTY LINE.
 6. IF THE LOWEST FLOOR ELEVATION IS BELOW THE RIM ELEVATION OF THE UPSTREAM MANHOLE, THE TAP MUST HAVE BACKFLOW PREVENTION INSTALLED OR BE PUMPED TO GRAVITY.
 7. PROP. 6" SAN. TAP TO BE 6" PVC SDR-35 @ 2.00% MIN. SLOPE.
 8. THIS HOUSE IS SITUATED AT OR NEAR THE MINIMUM SETBACK LINE. BUILDER TO VERIFY FOUNDATION FORMS PRIOR TO CONSTRUCTION.

EROSION NOTES:
 BUILDER IS RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL AS LISTED BELOW.

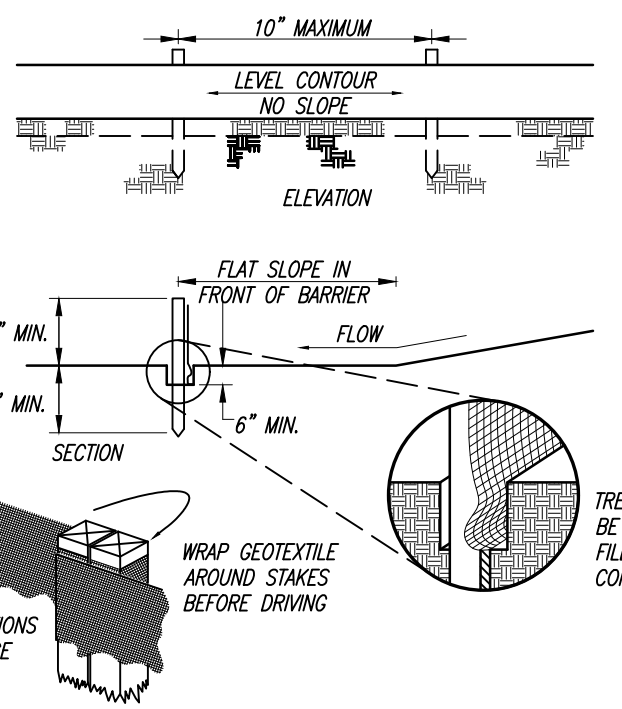
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SILT FENCES TO BE ENTRENCHED 4-6 INCHES BELOW GRADE.

ALL EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY STRIPPING OF VEGETATION OR EXCAVATION.

SPECIFICATIONS FOR SILT FENCE



SEE THE RAINWATER AND LAND DEVELOPMENT, OHIO'S STANDARDS FOR STORMWATER MANAGEMENT, LAND DEVELOPMENT AND URBAN STREAM PROTECTION MANUAL, CURRENT EDITION, FOR SILT FENCE SPECIFICATIONS.

**LOT 35
 CRAIG AND KROLLMAN
 SUBDIVISION
 P.B. 14, PG. 147**

LINE TABLE		
LINE	LENGTH	BEARING
L1	50.00'	S 84°32'56" E

LEGEND

	Ex. Utility Pole
	Ex. Flag Pole
	Ex. Fire Hydrant
	Ex. Water Valve
	Ex. Gas Valve
	Ex. Sanitary Sewer Manhole
	Ex. Overhead Utility Lines

EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES AND AGENCIES PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DESIGN.

ELEVATION DATUM SHOWN IS RELATIVE TO NAVD 88 BASED ON VRS GPS OBSERVATIONS.

SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" AS DETERMINED BY A PERSONAL REVIEW OF FLOOD MAP NO. 39061C0213E, DATED FEBRUARY 17, 2010 OF THE NATIONAL FLOOD INSURANCE PROGRAM.

AVERAGE FRONT YARD SETBACK	
ADDRESS	SETBACK
#3147	10.0'
#3323	44.6'
#3325	SUBJECT PROPERTY
#3329	47.8'
#3333	49.0'
#3337	48.5'
#3339	36.0'
#3341	41.0'
#3343	38.9'
AVERAGE FRONT YARD: 39.5'	

ZONING INFO
 ZONE: "SF-6" SINGLE FAMILY RESIDENCE
 FRONT YARD: 25' (39.48' AVERAGING)
 SIDE YARD: 7' ONE, 16' TOTAL
 REAR YARD: 35'

PROPERTY ADDRESS:
 3325 HANNA AVENUE
 CINCINNATI, OHIO 45207

BUILDER:
 THE PORT
 3 EAST FOURTH STREET
 SUITE 300
 CINCINNATI, OHIO 45202



PLOT PLAN

CRAIG AND KROLLMAN SUBDIVISION
 SECTION-14, TOWN-2, F.RANGE-2, MIAMI PURCHASE
 CITY OF CINCINNATI, HAMILTON COUNTY, OHIO

Ae Abercrombie & Associates, Inc.
 Civil Engineering + Surveying
 8111 Cheviot Road, Suite 200 • Cincinnati, Ohio 45247
 513-385-5757 • www.abercrombie-associates.com

REVISIONS	SCALE	DATE	JOB NO.	DRAWN	1
	1" = 20'	9-18-24	24-0209	G.R.	1

DWG.: GR-PLPN



October 2, 2024

**Subject: Request for Availability of Sewer Service APPROVAL
Single-Family - 1
Auditor's Parcel Number(s) 0212-0062-0027
3325 Hanna Avenue
Cincinnati
APD Number CMD2400197**

To Whom It May Concern:

The Metropolitan Sewer District of Greater Cincinnati (MSD) received a Request for Availability of Sewer Service (RASS) for the subject property. We reviewed information provided, on-site conditions, and our database to determine the feasibility of a sanitary connection to a nearby gravity sewer system. MSD's review and findings are based upon MSD Rules and Regulations, the Ohio Administrative Code 3701-29-06 (I), and best engineering judgement.

Sanitary sewer service is **available** for the subject property via connection to the existing public sewer in Hanna Avenue. If the property owner chooses to pursue a connection to MSD's system, all work shall be subject to the following requirements and conditions:

1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at <https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/>.
2. Special considerations should be made to protect MSD's infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor's expense. Once the connection point to the sewer has been uncovered, MSD's on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
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Sincerely,



Robert Franklin

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Metropolitan Sewer District of Greater Cincinnati (MSD)
Cell: 513.882.8468 | Email: Rob.Franklin@cincinnati-oh.gov

RF: ww

c: Availability File, Cincinnati, Katherine Keough-Jurs



Sheet Index

- C.0 Cover Sheet
- C.1 Structural Notes
- 2.0 Foundation & First Floor Plans
- 3.0 Second Floor Plan
- 4.0 Exterior Elevations
- 5.0 Building Sections
- 5.1 Detail Sections

Drawing Symbols

- Exhaust Fan
- Smoke Detector
- Carbon Monoxide Detector
- Floor Drain
- Hose Bibb
- Section/Elevation Marker
- Material Tag
- Window Tag

General Notes

GOVERNING CODE - 2019 OHIO RESIDENTIAL CODE. ALL WORK SHALL CONFORM TO THIS CODE AND ALL OTHER LOCAL AND APPLICABLE CODES.

BIDDING INSTRUCTIONS:
CONTRACTOR TO BID SCOPE OF WORK DEFINED HEREIN IN LINE-ITEM FORMAT. OWNER MAY ASK FOR ADDITIONAL BREAKDOWN OF BID PRIOR TO AWARD. REFER TO CONSTRUCTION DOCUMENT SHEETS FOR ADDITIONAL NOTES.

1. DO NOT SCALE DRAWINGS
2. ALL BEDROOMS SHALL HAVE A MINIMUM OF ONE WINDOW THAT COMPLIES WITH LOCAL EGRESS REQUIREMENTS
3. STRUCTURAL FRAMING MEMBER TO HAVE A MINIMUM FB = 1275 PSI
4. ALL EXTERIOR BEARING WALL HEADERS TO BE (3) 2x10's
ALL EXTERIOR BEARING HEADERS LESS THAN 6'-0" SPAN REQ. 1 JACK 1 KING EACH SIDE
ALL EXTERIOR BEARING HEADERS MORE THAN 6'-0" SPAN REQ. 2 JACK 2 KING EACH SIDE
ALL INTERIOR BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x8's U.N.O.
ALL INTERIOR BEARING HEADERS 4'-0" - 6'-0" SPAN TO BE (2) 2x10's U.N.O.
ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x4's U.N.O.
ALL INTERIOR NON-BEARING HEADERS 4'-0" - 8'-0" SPAN TO BE (2) 2x6's U.N.O.
5. DETAILS FOR ALL ENGINEERED LUMBER PRODUCTS, I.E. GLU-LAMS, MICRO-LAMS, TJS ROOF TRUSSES, ETC. TO BE FURNISHED BY MANUFACTURER.
6. GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECTS OFFICE TRUSS DESIGN AND LAYOUT DRAWINGS IF DESIGN DEVIATES FROM ARCHITECTS CONSTRUCTION DOCUMENTS. SUBMIT DRAWINGS WITH DEVIATIONS NOTED FOR REVIEW AND COORDINATION PRIOR TO BEGINNING OF CONSTRUCTION AND TRUSS FABRICATION
7. INSTALL SAFETY GLAZING IN LOCATIONS SPECIFIED BY LOCAL CODE.
8. CONTRACTOR TO PROVIDE "GRACE" ICE & WATER SHIELD AT ALL ROOF EAVES, PEAKS, VALLEYS & VERTICAL WALL INTERSECTIONS. SHEET SHALL EXTEND FROM EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. (RCO 905.2.7.1)
9. SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATION AND INSTALLATION SPECIFICATIONS
10. SEPARATE CIVIL ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
11. SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY GENERAL CONTRACTOR.
12. THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
13. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
14. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD - ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
15. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
16. IN FULL DEPTH MASONRY WALLS, EXPANSION JOINTS SHALL BE LOCATED IN FIELD BY MASON, MAX DISTANCE 20'-0" O.C. ON LONGER STRAIGHT CONTINUOUS WALLS.
17. FLOOR SYSTEMS TO BE DESIGNED AT L/240 AT ALL TILE FLOOR LOCATION. COORDINATE WITH ARCHITECT IF NOT CLEARLY INDICATED ON DRAWINGS.
18. SMOKE ALARMS TO USE DUAL-TYPE DETECTION INCLUDING BOTH PHOTOELECTRIC AND IONIZATION TECHNOLOGIES PER RCO SECTION 514.1.

Energy Efficiency Compliance

1.) METHOD: RCO 2019 - RCO PRESCRIPTIVE METHOD, SEE MIN. VALUES BELOW

DESCRIPTION	VALUE	NOTES
WINDOWS	U FACTOR = .32	
DOORS - SOLID	U FACTOR = .32	
DOORS - GLAZED	U FACTOR = .35 MAX	
SKYLIGHT	U FACTOR = .55	IF APPLICABLE
CEILING - FLAT ROOF	R-VALUE = 30 MIN	NO ATTIC
CEILING - ATTIC	R-VALUE = 49 MIN	
FRAMED WALLS	R-VALUE = 20 MIN	2x6 WOOD FRAMING
FLOOR	R-VALUE = 19 MIN	
BASEMENT WALLS	R-VALUE = 10	R-13 POLY FACED
SLAB	R-VALUE = 10 MIN	2" MIN DEPTH CONTINUOUS
CRAWL SPACE	R-VALUE = 10 MIN	UNCOND. SPACES
HVAC DUCT	R-VALUE = 86 MIN (<3")	

2.) HIGH EFFICIENCY LAMPS TO BE PROVIDED IN MIN. 90% OF ALL LIGHTING FIXTURES

3.) PROGRAMMABLE THERMOSTAT TO BE PROVIDED AND INITIALLY SET FOR HEATING OF 70°F AND COOLING OF 78°F

Design Loads

1.) MIN. REQUIRED DESIGN LOADS:

- A.) FLOOR LIVE LOAD = 40 PSF; SNOW = 20 PSF
- B.) GARAGE FLOOR LIVE LOAD = 50 PSF
- C.) WIND LOAD = 115 MPH (3-SEC GUST)
- D.) SOIL BEARING CAPACITY = 1,500 PSF

2.) THE MAX ALLOWABLE LIVE LOAD DEFLECTION OR STRUCTURAL MEMBERS:

- A.) CONCRETE FLOORS = L/80
- B.) WALLS W/ MASONRY VENEER = L/240
- C.) WALLS W/ SIDING = L/120
- D.) ROOF TRUSSES (OR RAFTERS) = L/180
- E.) ALL OTHER STRUCTURAL MEMBERS = L/240

3.) MIN. COMPRESSIVE STRENGTH OF CONCRETE:

- A.) FOOTING/PIERS = 3,500 PSI
- B.) FOUNDATION WALLS = 3,500 PSI
- C.) GARAGE FLOORS = 4,000 PSI
- D.) EXTERIOR WALKS & LANDINGS = 4,500 PSI

ALL CONCRETE EXPOSED TO WEATHER OR SUBJECT TO FREEZING OR THAWING DURING CONSTRUCTION SHALL HAVE AIR ENTRAINMENT BETWEEN 5-7%.

4.) ALL RAFTERS, RIDGE BOARDS, RIDGE BEAMS, HEADERS & CEILING JOISTS (OR CROSS TIES) SHALL BE MIN. NO. 2 GRADE SO. YELLOW PINE. ALL EXTERIOR WALL STUDS SHALL BE MIN. STUD GRADE SPF.

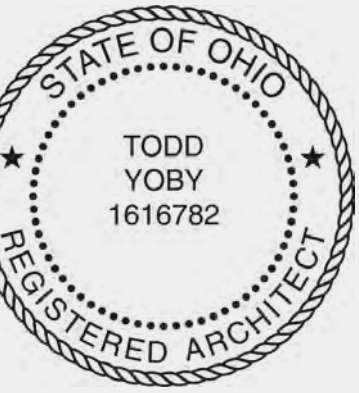
5.) ALL LUMBER IN DIRECT CONTACT WITH CONCRETE, MASONRY OR IN PROXIMITY TO EXPOSED GROUND SHALL BE PRESSURE TREATED FOR EXTERIOR USE. ALL LUMBER IN DIRECT CONTACT WITH THE GROUND SUPPORTING DECK TO BE PRESSURE TREATED FOR GROUND CONTACT USE.

6.) ALL STRUCTURAL MEMBERS SHALL BE FULL LENGTH (NO SPLICES) OR SPLICES SHALL BE APPROVED & OCCUR AT ADEQUATE STRUCTURAL BEARING.

7.) ALL STRUCTURAL BOLTS SHALL BE A MIN 1/2" DIAM. CORROSION-RESISTANT, AND SHALL BE COMPATIBLE WITH THE SPECIFIC TYPE OF PRESSURE TREATED LUMBER BEING USED.

8.) ALL PRE-ENGINEERED STRUCTURAL WOOD CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & INSTALLATION INSTRUCTIONS (INCLUDING PROPER FASTENER TYPE AND SIZE).

9.) WOOD HEADERS WITH CLEAR SPANS OVER 6FT REQUIRE A MINIMUM (2) JACK STUDS & (1) KING STUD EACH SIDE.



A PROPOSED RESIDENCE FOR:
Hamilton County Land Revitalization Corp

3 East Fourth Street
Cincinnati, Ohio, 45202

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FILE NUMBER: 24-450

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PERMIT DATE:

DRAWING TITLE:

Cover Sheet

GENERAL NOTES

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- 2) - NO SMOKING ALLOWED IN BUILDING AT ANY TIME.
- 3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY THE COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ON SITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MAY NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.
- 4) - ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOR OVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALLED.
- 5) - CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MUST USE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFF SITE FOR PRIVATE USE.
- 6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.
- 7) - CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.
- 8) - ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- 9) - FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY OWNER WALK THROUGH.
- 10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AND ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS' AND SUBCONTRACTORS' RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

- 1) - FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.
- 2) - STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.
- 3) - PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.
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- 5) - INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

- 1) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.
- 2) - ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
- 3) - SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION.
- 4) - PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:
 PER RCO 314.3
 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL.
 B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM.
 C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO 314.3

- PER RCO 315.1
 A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS OR IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM.

- 5) EGRESS WINDOW REQUIREMENTS
 OPENING > 5.7 SQ FT
 OPENING WIDTH > 24"
 OPENING HEIGHT > 20"
 MAX DISTANCE FROM THE FLOOR: 44"

- 6) SAFETY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.
- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.
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Window Schedule				
ID	Unit Dimensions	Operation	Tempered	Remarks
W-01	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	
W-02	2'-8" x 4'-0"	Double Hung	<input type="checkbox"/>	
W-03	2'-0" x 3'-0"	Double Hung	<input type="checkbox"/>	
W-04	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	

408.3 UNVENTED CRAWL SPACE

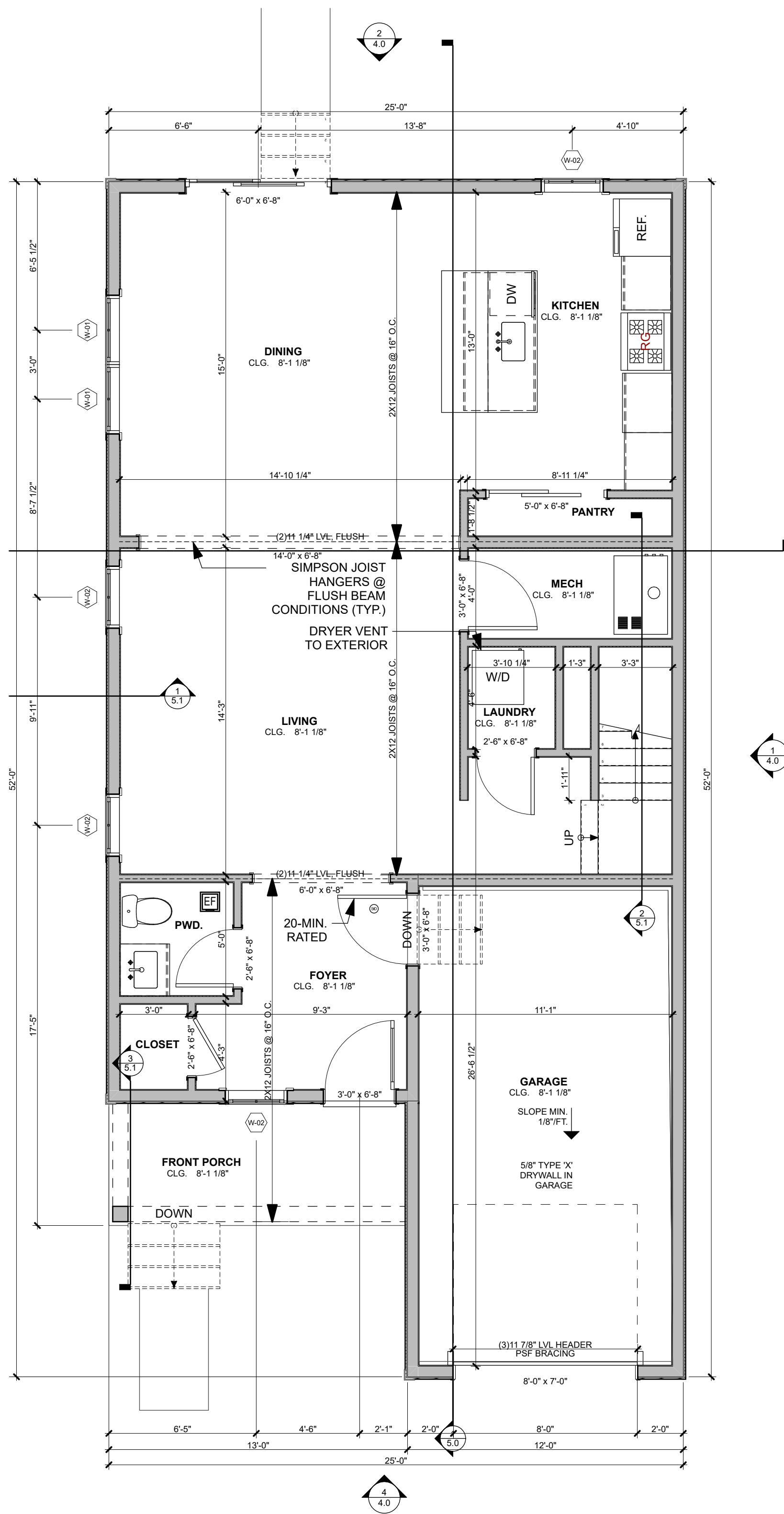
FORCED AIR REGISTER TO DELIVER SUPPLY AIR FROM FURNACE OR AIR HANDLER TO CRAWL SPACE @ MIN. 1 CFM/IN PER 50 SF OF UNDER-FLOOR AREA INCLUDING RETURN AIR PATHWAY

FOUNDATION NOTES

1. FOUNDATION SYSTEM DESIGN IS BASED ON A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3000 PSI IN THE FOOTINGS. IF A LOWER STRENGTH CONCRETE WILL BE USED, NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION, SO THAT THE REINFORCING STEEL SIZE AND/OR SPACING CAN BE ADJUSTED TO SUIT THE CONCRETE STRENGTH.
2. FOOTING DESIGNS ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF MINIMUM.
3. CONTINUOUS FOOTING TO BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL DESIGNED BY CIVIL ENGINEER AND TESTED BY GEO-TECHNICAL ENGINEER. IT IS CONTRACTOR'S RESPONSIBILITY TO OVERSEE AND ENSURE ALL BEARING LOCATIONS MEET THESE REQUIREMENTS. ANY CHANGES MADE IN THE FIELD SHOULD BE CONSULTED WITH THE ARCHITECT.

2 First Floor Plan

SCALE: 1/4" = 1'-0"

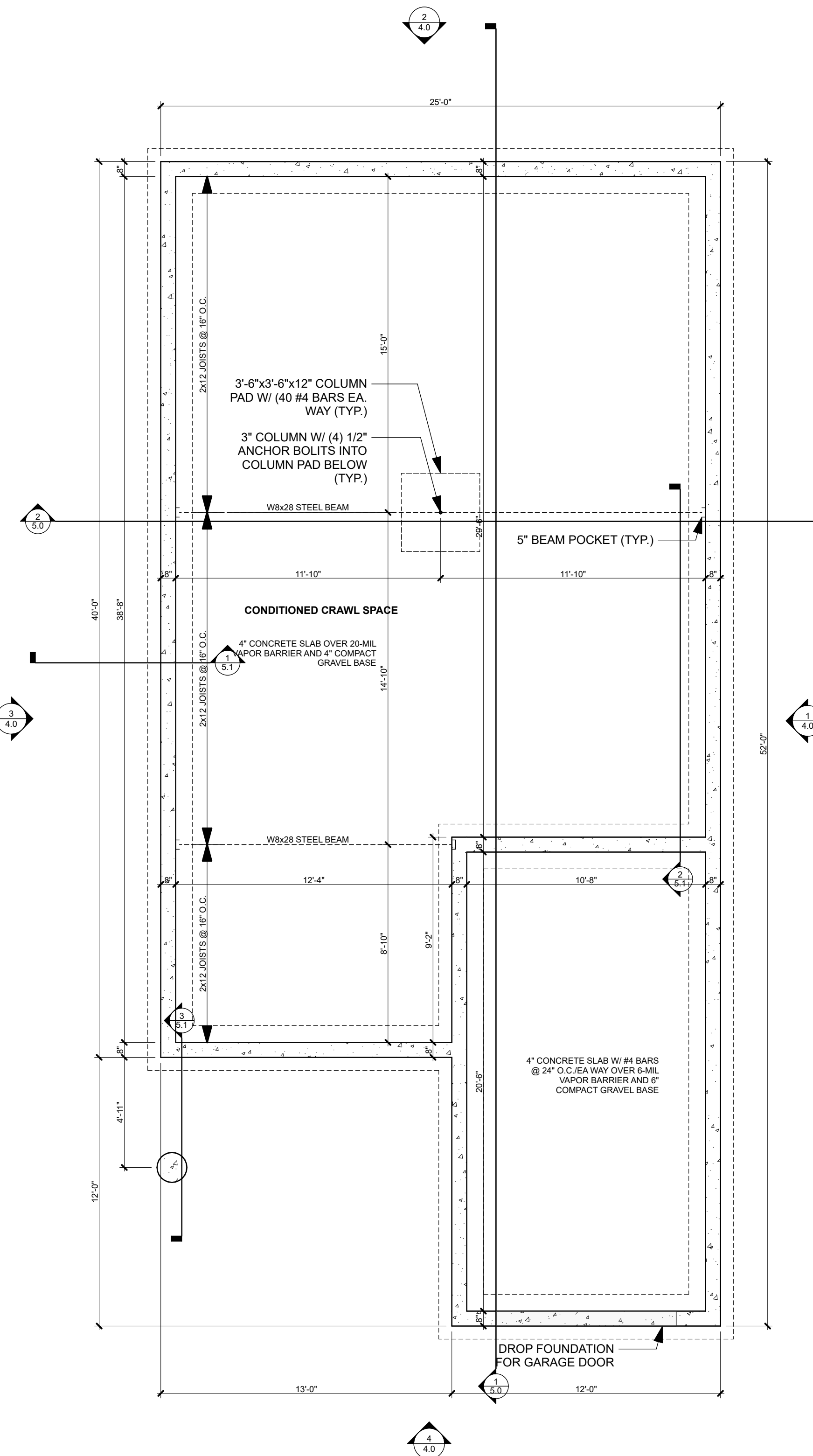


WALL BRACING

WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED/ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W/S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS w/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 3D COMMON NAILS (0.131" x 2 1/2" LONG) AT 8" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWING. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

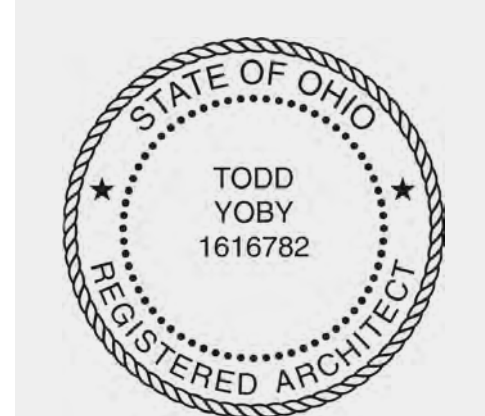
1 Foundation Plan

SCALE: 1/4" = 1'-0"



Area Schedule

LEVEL	Area (SF)
FIRST FLOOR	892
GARAGE	220
SECOND FLOOR	883
TOTAL	1,995 ft²



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Foundation & First Floor Plans

2.0

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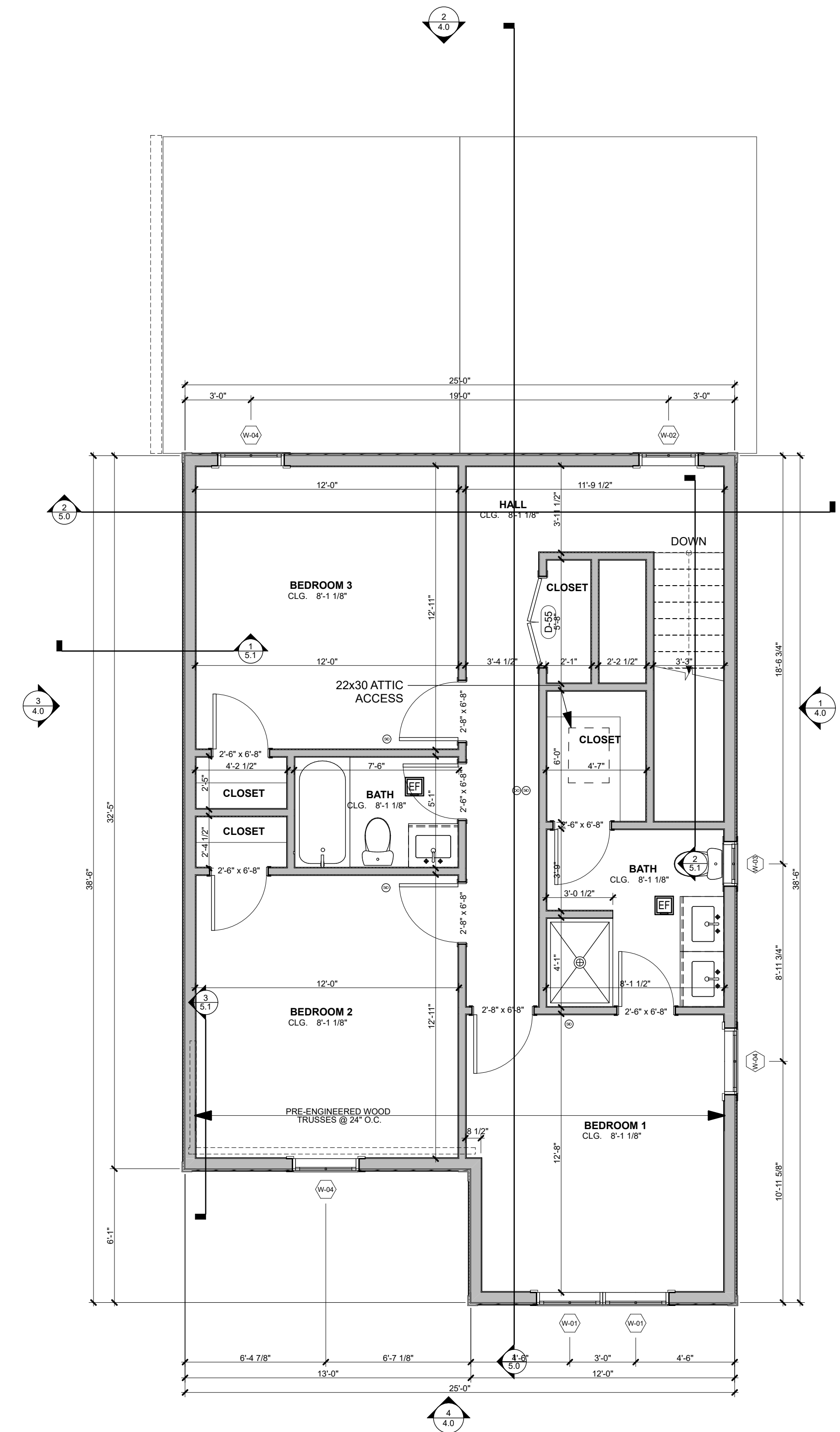
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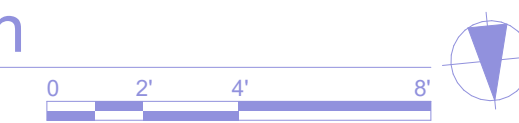
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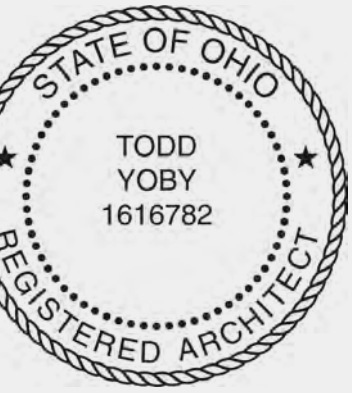


1 Second Floor Plan

SCALE: 1/4" = 1'-0"



Area Schedule	
LEVEL	Area (SF)
FIRST FLOOR	892
GARAGE	220
SECOND FLOOR	883
TOTAL	1,995 ft²



A PROPOSED RESIDENCE FOR:
Hamilton County Land Revitalization Corp
 3 East Fourth Street
 Cincinnati, Ohio, 45202

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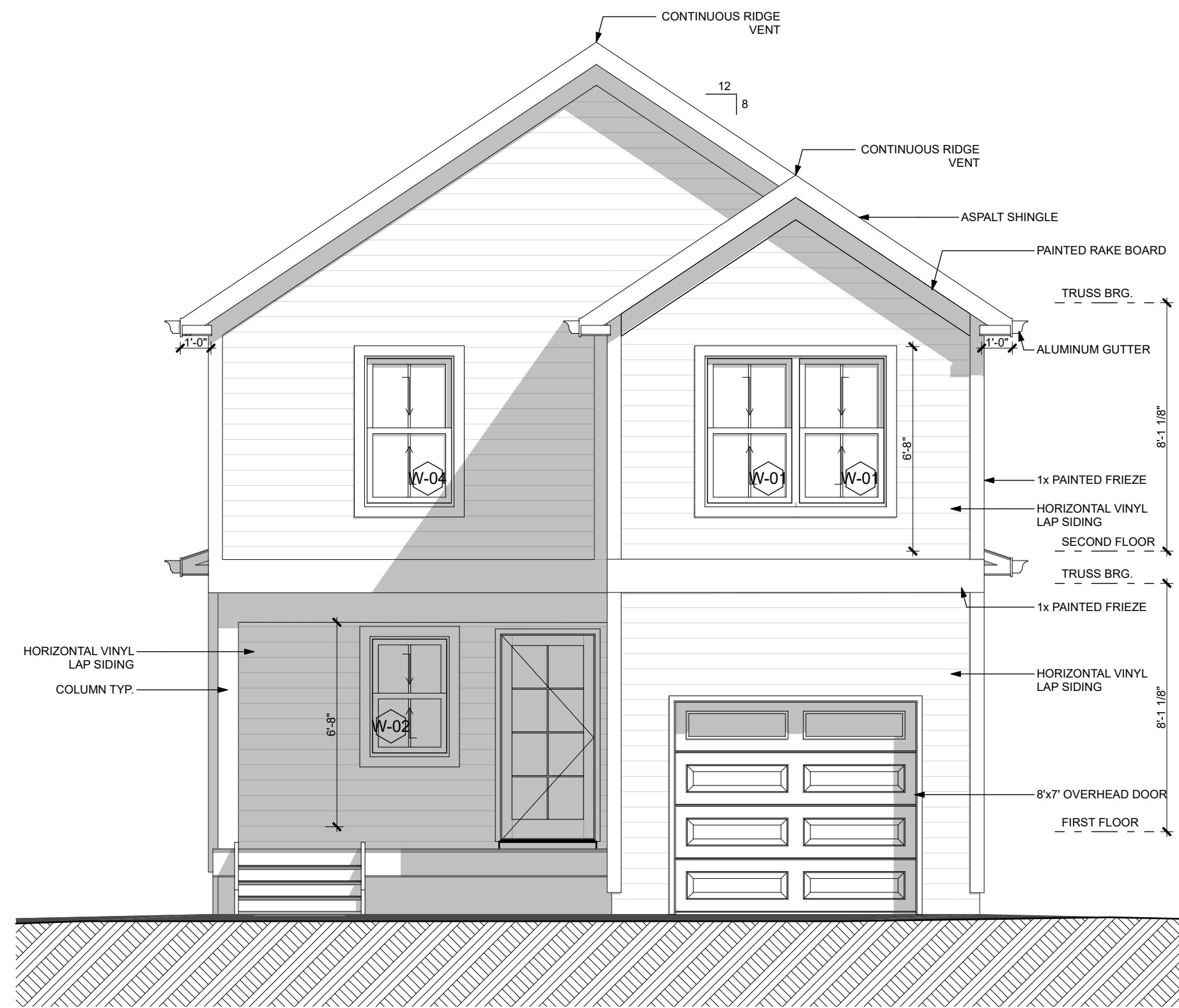
PERMIT DATE: _____

DRAWING TITLE:

Second Floor Plan

Exterior Elevation General Notes

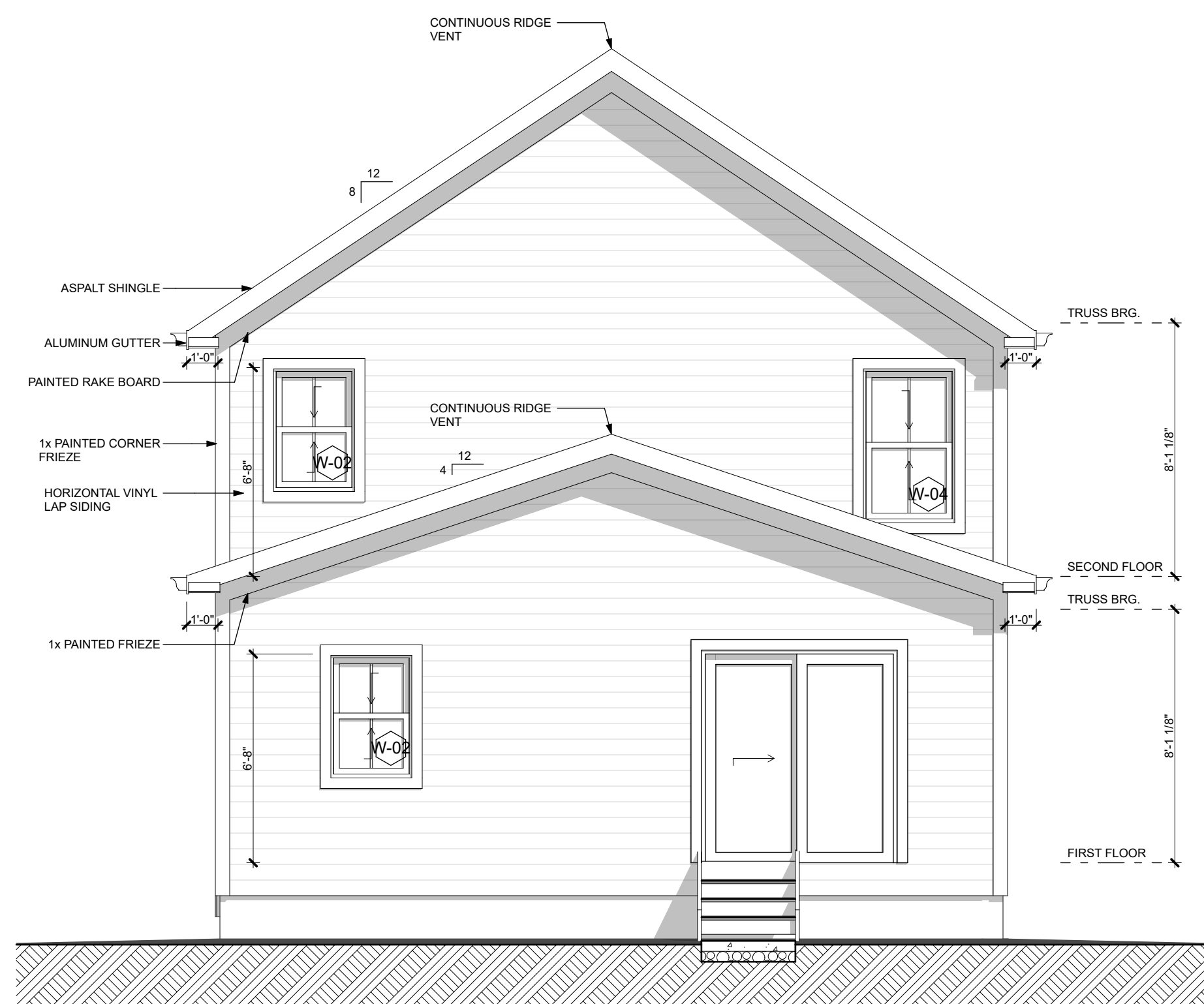
- 1) - VERIFY IN FIELD ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- 2) - ALL METAL COPING, METAL FASCIA, METAL FLASHING, ROOF ACCESSORIES, LOUVERS, SHALL BE PREFINISHED UNLESS NOTED OTHERWISE.
- 3) - REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO FINISH PAVEMENT AND FINISH GRADE ELEVATIONS.
- 4) - ELEVATIONS MAY NOT SHOW ALL MECHANICAL / ELECTRICAL / PLUMBING / ETC. ROOF TOP EQUIPMENT AND THROUGH-WALL PENETRATIONS; REFER TO AND COORDINATE WITH MECHANICAL / ELECTRICAL / PLUMBING / ETC. FOR SUCH EQUIPMENT AND PENETRATIONS
- 5) - REFER TO WALL SECTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIAL, ETC.
- 6) - DIMENSIONS SHOWN ARE FOR EASE OF TAKE-OFF ONLY. BIDDERS TO VERIFY QUANTITIES.



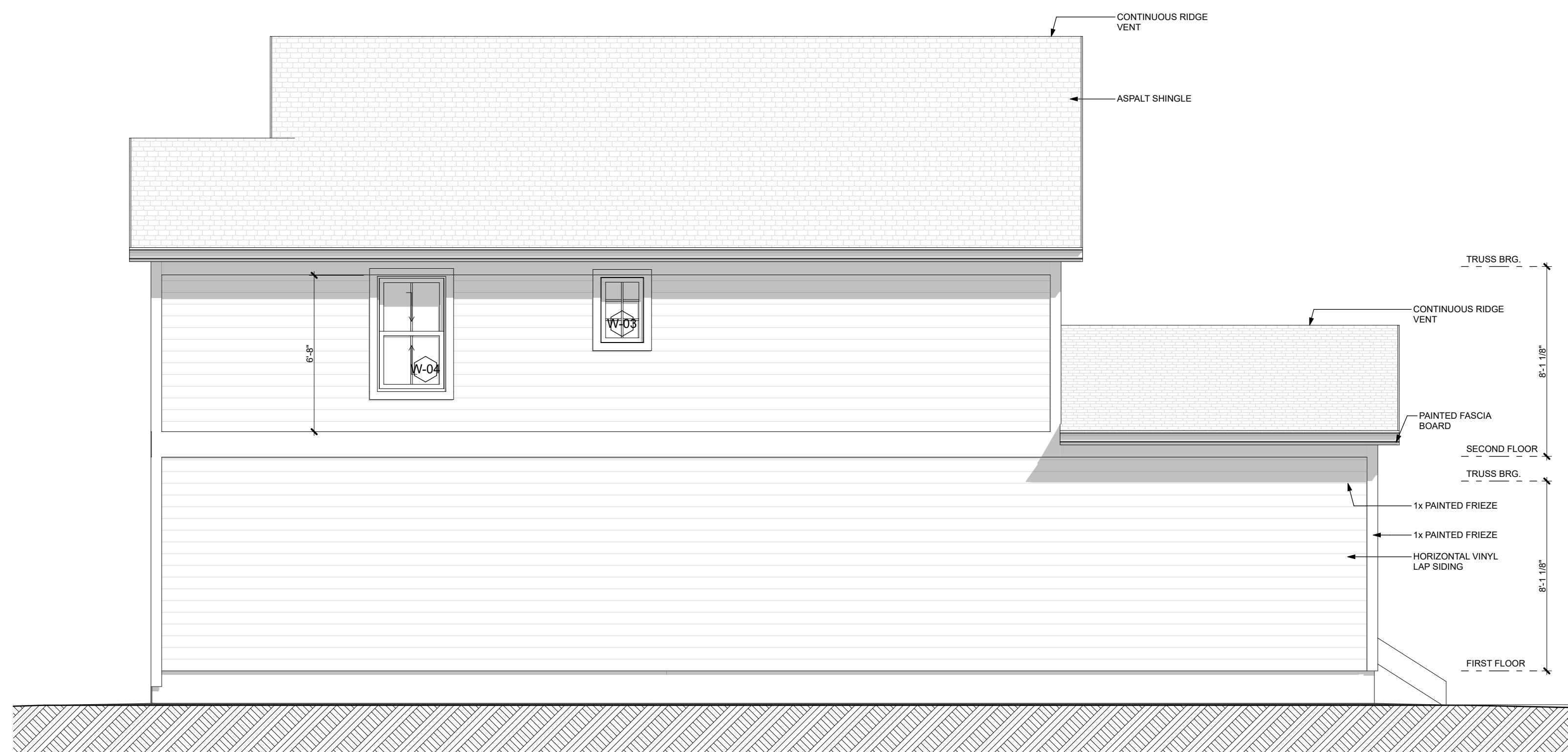
4 Front Elevation
SCALE: 1/4" = 1'-0"



3 Left Elevation
SCALE: 1/4" = 1'-0"

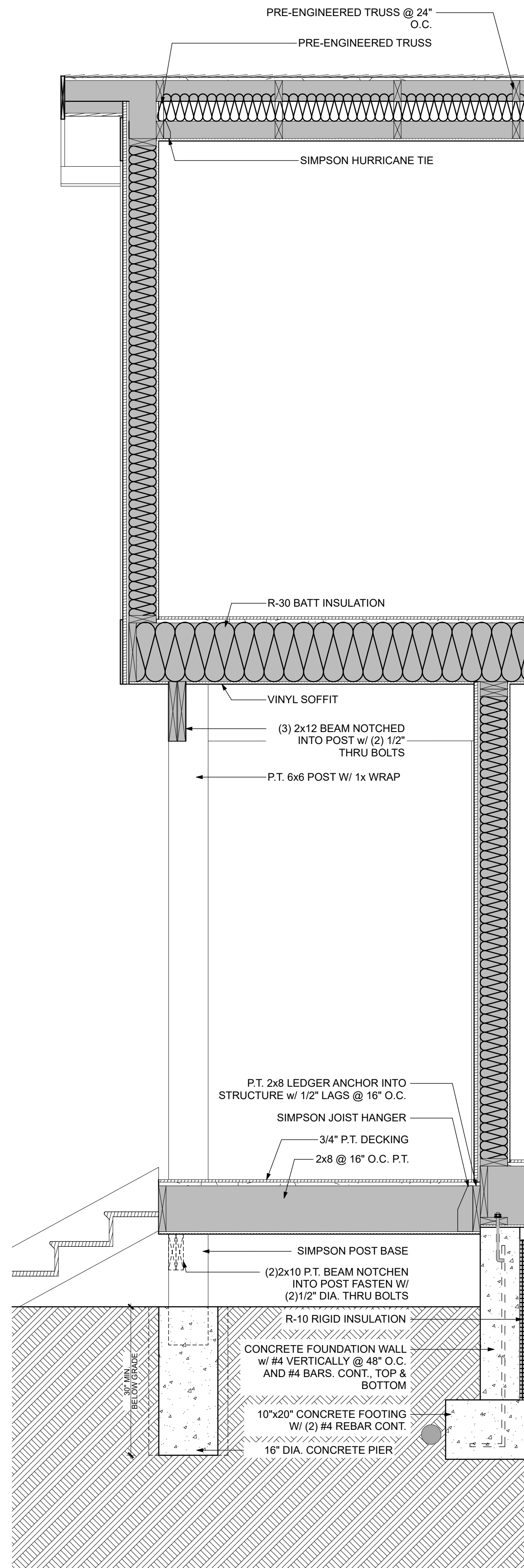


2 Rear Elevation
SCALE: 1/4" = 1'-0"

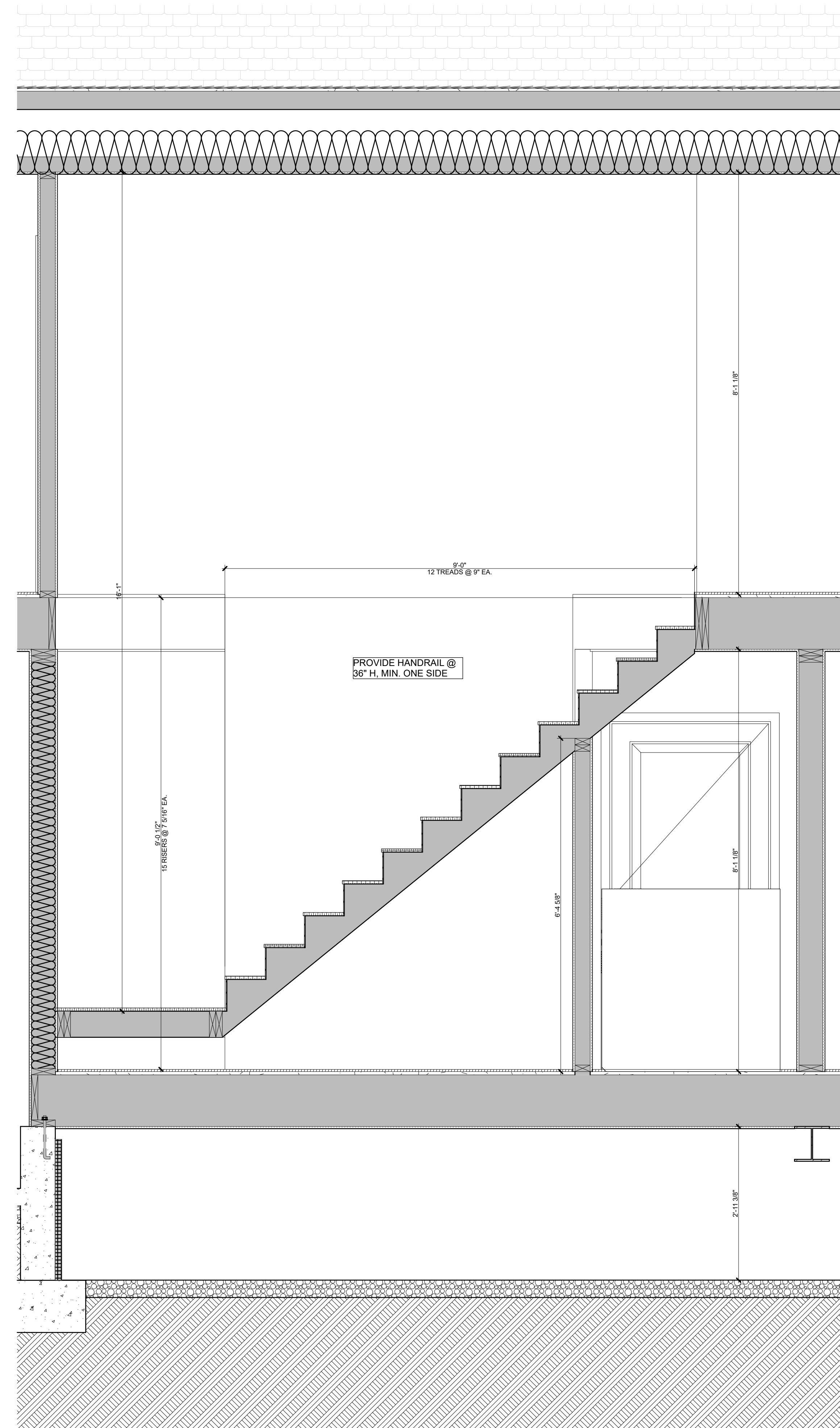


1 Right Elevation
SCALE: 1/4" = 1'-0"

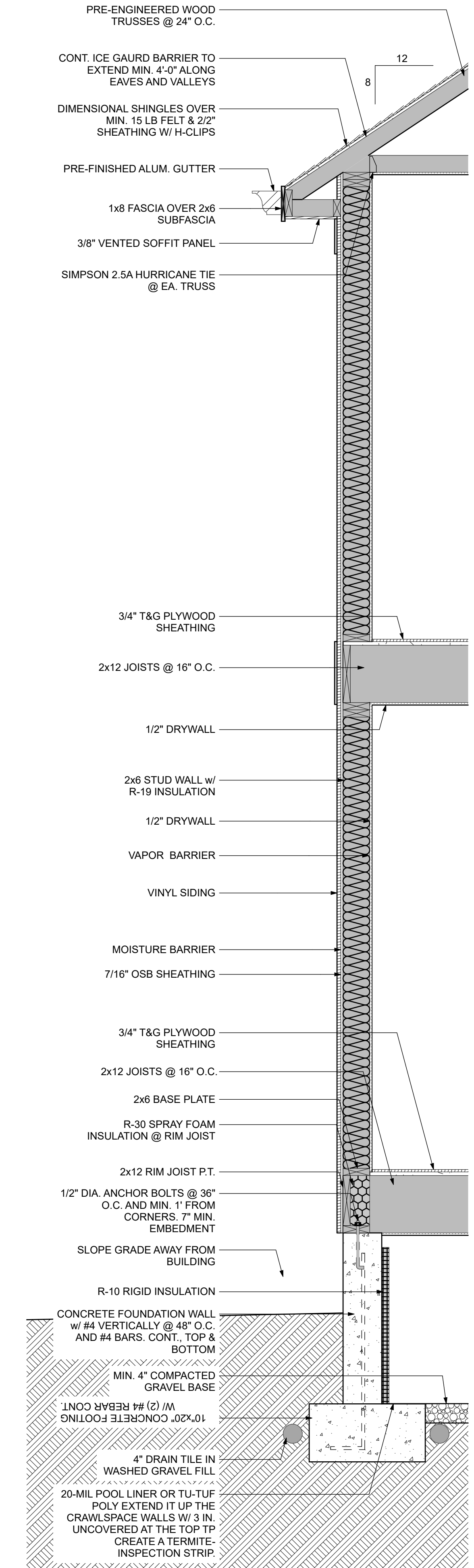




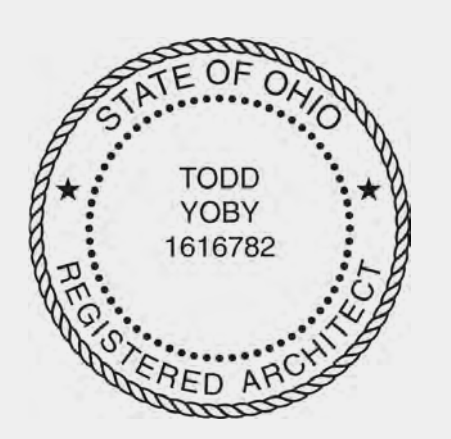
3 Porch Section
SCALE: 3/4" = 1'-0"
0 1' 2' 3'



2 Stair Section
SCALE: 3/4" = 1'-0"
0 1' 2' 3'



1 Typical Wall Section
SCALE: 3/4" = 1'-0"
0 1' 2' 3'



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Detail Sections



Sheet Index

- C.0 Cover Sheet
- C.1 Structural Notes
- 2.0 Foundation & First Floor Plans
- 3.0 Second Floor Plan
- 4.0 Exterior Elevations
- 5.0 Building Sections
- 5.1 Detail Sections

Drawing Symbols

- EF Exhaust Fan
- SD Smoke Detector
- CD Carbon Monoxide Detector
- FD Floor Drain
- HB Hose Bibb
- SE Section/Elevation Marker
- MT Material Tag
- WT Window Tag

General Notes

GOVERNING CODE - 2019 OHIO RESIDENTIAL CODE. ALL WORK SHALL CONFORM TO THIS CODE AND ALL OTHER LOCAL AND APPLICABLE CODES.

BIDDING INSTRUCTIONS:
 CONTRACTOR TO BID SCOPE OF WORK DEFINED HEREIN IN LINE-ITEM FORMAT. OWNER MAY ASK FOR ADDITIONAL BREAKDOWN OF BID PRIOR TO AWARD. REFER TO CONSTRUCTION DOCUMENT SHEETS FOR ADDITIONAL NOTES.

1. DO NOT SCALE DRAWINGS
2. ALL BEDROOMS SHALL HAVE A MINIMUM OF ONE WINDOW THAT COMPLIES WITH LOCAL EGRESS REQUIREMENTS
3. STRUCTURAL FRAMING MEMBER TO HAVE A MINIMUM FB = 1275 PSI
4. ALL EXTERIOR BEARING WALL HEADERS TO BE (3) 2x10'S
 ALL EXTERIOR BEARING HEADERS LESS THAN 6'-0" SPAN REQ. 1 JACK 1 KING EACH SIDE
 ALL EXTERIOR BEARING HEADERS MORE THAN 6'-0" SPAN REQ. 2 JACK 2 KING EACH SIDE
 ALL INTERIOR BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x8'S U.N.O.
 ALL INTERIOR BEARING HEADERS 4'-0" - 6'-0" SPAN TO BE (2) 2x10'S U.N.O.
 ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x4'S U.N.O.
 ALL INTERIOR NON-BEARING HEADERS 4'-0" - 8'-0" SPAN TO BE (2) 2x6'S U.N.O.
5. DETAILS FOR ALL ENGINEERED LUMBER PRODUCTS, I.E. GLU-LAMS, MICRO-LAMS, TJI'S ROOF TRUSSES, ETC. TO BE FURNISHED BY MANUFACTURER.
6. GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECTS OFFICE TRUSS DESIGN AND LAYOUT DRAWINGS IF DESIGN DEVIATES FROM ARCHITECTS CONSTRUCTION DOCUMENTS. SUBMIT DRAWINGS WITH DEVIATIONS NOTED FOR REVIEW AND COORDINATION PRIOR TO BEGINNING OF CONSTRUCTION AND TRUSS FABRICATION
7. INSTALL SAFETY GLAZING IN LOCATIONS SPECIFIED BY LOCAL CODE.
8. CONTRACTOR TO PROVIDE "GRACE" ICE & WATER SHIELD AT ALL ROOF EAVES, PEAKS, VALLEYS & VERTICAL WALL INTERSECTIONS. SHEET SHALL EXTEND FROM EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. (RCO 905.2.7.1)
9. SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATION AND INSTALLATION SPECIFICATIONS
10. SEPARATE CIVIL ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
11. SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY GENERAL CONTRACTOR.
12. THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
13. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
14. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD - ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
15. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
16. IN FULL DEPTH MASONRY WALLS, EXPANSION JOINTS SHALL BE LOCATED IN FIELD BY MASON, MAX DISTANCE 20'-0" O.C. ON LONGER STRAIGHT CONTINUOUS WALLS.
17. FLOOR SYSTEMS TO BE DESIGNED AT L/240 AT ALL TILE FLOOR LOCATION. COORDINATE WITH ARCHITECT IF NOT CLEARLY INDICATED ON DRAWINGS.
18. SMOKE ALARMS TO USE DUAL-TYPE DETECTION INCLUDING BOTH PHOTOELECTRIC AND IONIZATION TECHNOLOGIES PER RCO SECTION 514.1.

Energy Efficiency Compliance

1.) METHOD: RCO 2019 - RCO PRESCRIPTIVE METHOD. SEE MIN. VALUES BELOW

DESCRIPTION	VALUE	NOTES
WINDOWS	U FACTOR = .32	
DOORS - SOLID	U FACTOR = .32	
DOORS - GLAZED	U FACTOR = .35 MAX	
SKYLIGHT	U FACTOR = .55	IF APPLICABLE NO ATTIC
CEILING - FLAT ROOF	R-VALUE = 30 MIN	
CEILING - ATTIC	R-VALUE = 49 MIN	
FRAMED WALLS	R-VALUE = 20 MIN	2x6 WOOD FRAMING
FLOOR	R-VALUE = 19 MIN	
BASEMENT WALLS	R-VALUE = 10	R-13 POLY FACED
SLAB	R-VALUE = 10 MIN	2" MIN DEPTH CONTINUOUS
CRAWL SPACE	R-VALUE = 10 MIN	
HVAC DUCT	R-VALUE = 8/6 MIN (<3")	UNCOND. SPACES

- 2.) HIGH EFFICIENCY LAMPS TO BE PROVIDED IN MIN. 90% OF ALL LIGHTING FIXTURES
- 3.) PROGRAMMABLE THERMOSTAT TO BE PROVIDED AND INITIALLY SET FOR HEATING OF 70°F AND COOLING OF 78°F

Design Loads

1.) MIN. REQUIRED DESIGN LOADS:

- A) FLOOR LIVE LOAD = 40 PSF; SNOW = 20 PSF
 - B) GARAGE FLOOR LIVE LOAD = 50 PSF
 - C) WIND LOAD = 115 MPH (3-SEC GUST)
 - D) SOIL BEARING CAPACITY = 1,500 PSF
- 2.) THE MAX ALLOWABLE LIVE LOAD DEFLECTION OR STRUCTURAL MEMBERS:
- A) CONCRETE FLOORS = L/360
 - B) WALLS W/ MASONRY VENEER = L/240
 - C) WALLS W/ SIDING = L/120
 - D) ROOF TRUSSES (OR RAFTERS) = L/180
 - E) ALL OTHER STRUCTURAL MEMBERS = L/240
- 3.) MIN. COMPRESSIVE STRENGTH OF CONCRETE:
- A) FOOTING/PIERS = 3,500 PSI
 - B) FOUNDATION WALLS = 3,500 PSI
 - C) GARAGE FLOORS = 4,000 PSI
 - D) EXTERIOR WALKS & LANDINGS = 4,500 PSI
- ALL CONCRETE EXPOSED TO WEATHER OR SUBJECT TO FREEZING OR THAWING DURING CONSTRUCTION SHALL HAVE AIR ENTRAINMENT BETWEEN 5-7%.
- 4.) ALL RAFTERS, RIDGE BOARDS, RIDGE BEAMS, HEADERS & CEILING JOISTS (OR CROSS TIES) SHALL BE MIN. NO. 2 GRADE SO. YELLOW PINE. ALL EXTERIOR WALL STUDS SHALL BE MIN. STUD GRADE SPF.
- 5.) ALL LUMBER IN DIRECT CONTACT WITH CONCRETE, MASONRY OR IN PROXIMITY TO EXPOSED GROUND SHALL BE PRESSURE TREATED FOR EXTERIOR USE. ALL LUMBER IN DIRECT CONTACT WITH THE GROUND SUPPORTING DECK TO BE PRESSURE TREATED FOR GROUND CONTACT USE.
- 6.) ALL STRUCTURAL MEMBERS SHALL BE FULL LENGTH (NO SPLICES) OR SPLICES SHALL BE APPROVED & OCCUR AT ADEQUATE STRUCTURAL BEARING.
- 7.) ALL STRUCTURAL BOLTS SHALL BE A MIN 1/2" DIAM. CORROSION-RESISTANT, AND SHALL BE COMPATIBLE WITH THE SPECIFIC TYPE OF PRESSURE TREATED LUMBER BEING USED.
- 8.) ALL PRE-ENGINEERED STRUCTURAL WOOD CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & INSTALLATION INSTRUCTIONS (INCLUDING PROPER FASTENER TYPE AND SIZE).
- 9.) WOOD HEADERS WITH CLEAR SPANS OVER 6FT REQUIRE A MINIMUM (2) JACK STUDS & (1) KING STUD EACH SIDE.



GENERAL NOTES

- EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETE
- NO SMOKING ALLOWED IN BUILDING AT ANY TIME.
- IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY THE COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ON SITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MAY NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.
- ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOR OVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALLED.
- CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MUST USE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.
- OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.
- CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.
- ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY OWNER WALK THROUGHS.
- ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AND ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS AND SUBCONTRACTORS RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

- FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.
- STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.
- PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.
- IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 1/2"
- INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

- FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.
- ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
- SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION.
- PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

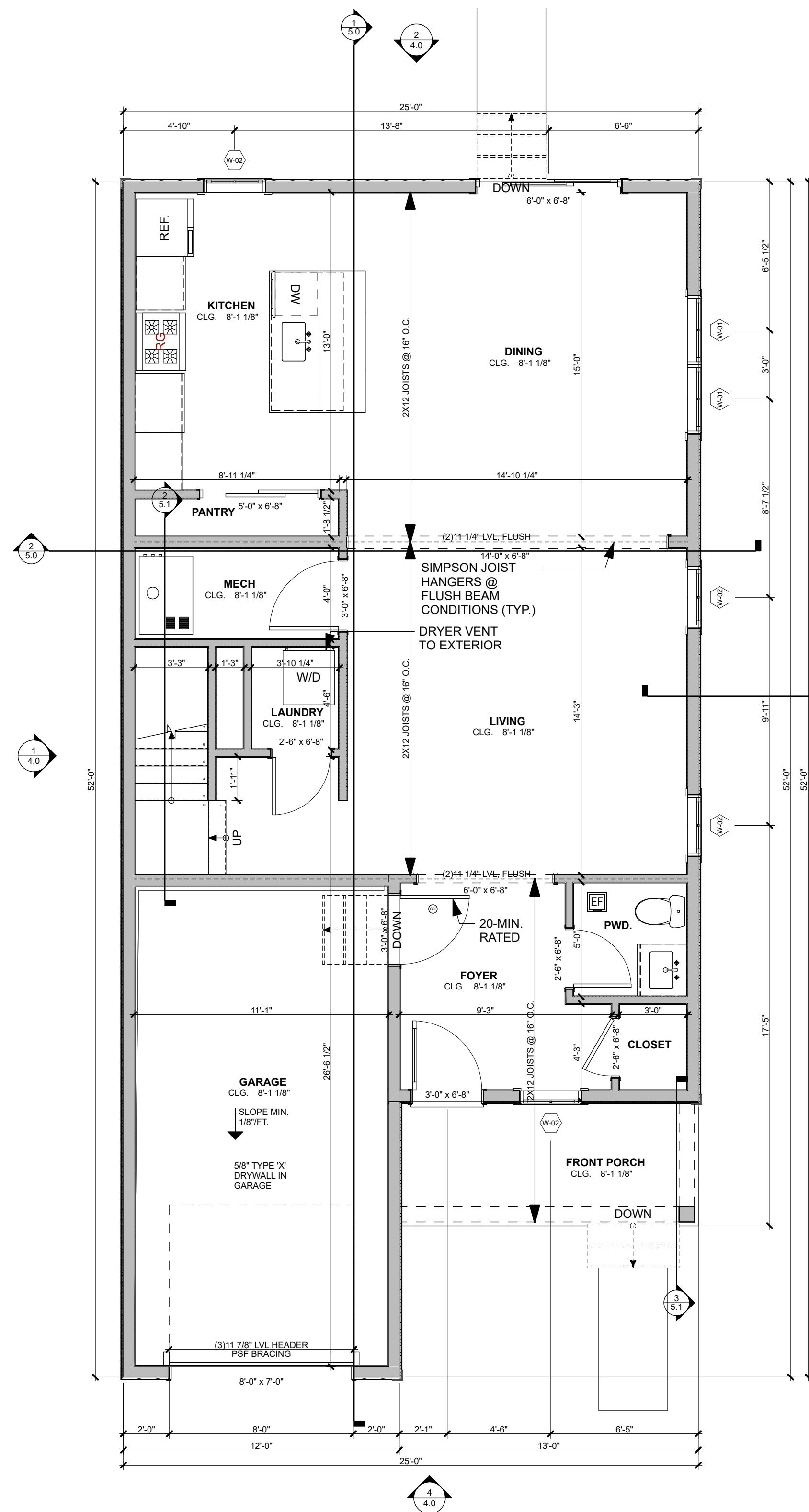
PER RCO 314.3
 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS AND A MIN. OF ONE ON EVERY LEVEL.
 B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM.
 C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO 314.3

PER RCO 315.1
 A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS OR IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM.

5) EGRESS WINDOW REQUIREMENTS
 OPENING > 5.7 SQ FT
 OPENING WIDTH > 24"
 OPENING HEIGHT > 20"
 MAX DISTANCE FROM THE FLOOR: 44"

6) SAFETY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.
- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.
- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANELES GREATER THAN 9 SF.



2 First Floor Plan
 SCALE: 1/4" = 1'-0"

408.3 UNVENTED CRAWL SPACE

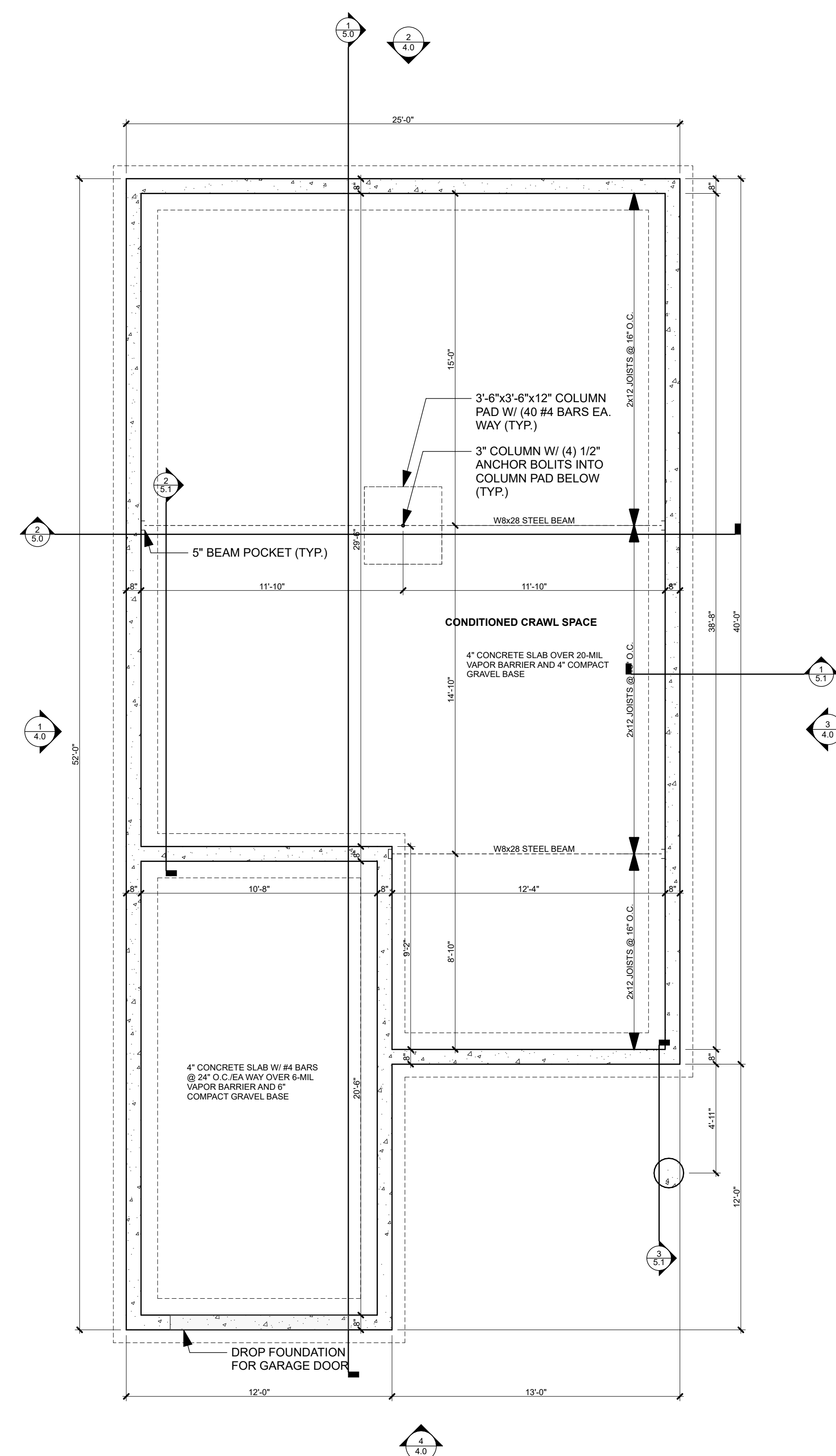
FORCED AIR REGISTER TO DELIVER SUPPLY AIR FROM FURNACE OR AIR HANDLER TO CRAWL SPACE @ MIN. 1 CFM/SQ FT PER 50 SF OF UNDER-FLOOR AREA INCLUDING RETURN AIR PATHWAY

FOUNDATION NOTES

- FOUNDATION SYSTEM DESIGN IS BASED ON A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3000 PSI IN THE FOOTINGS. IF A LOWER STRENGTH CONCRETE WILL BE USED, NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION, SO THAT THE REINFORCING STEEL SIZE AND/OR SPACING CAN BE ADJUSTED TO SUIT THE CONCRETE STRENGTH.
- FOOTING DESIGNS ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF MINIMUM.
- CONTINUOUS FOOTING TO BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL DESIGNED BY CIVIL ENGINEER AND TESTED BY GEO-TECHNICAL ENGINEER. IT IS CONTRACTOR'S RESPONSIBILITY TO OVERSEE AND ENSURE ALL BEARING LOCATIONS MEET THESE REQUIREMENTS. ANY CHANGES MADE IN THE FIELD SHOULD BE CONSULTED WITH THE ARCHITECT.

WALL BRACING

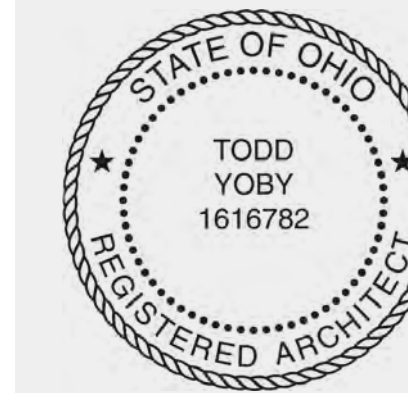
WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W/S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS W/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 3D COMMON NAILS (0.131" x 2 1/2" LONG) AT 8" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWINGS. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.



1 Foundation Plan
 SCALE: 1/4" = 1'-0"

LEVEL	Area Schedule	Area (SF)
FIRST FLOOR		892
GARAGE		220
SECOND FLOOR		883
TOTAL		1,995

ID	Unit Dimensions	Operation	Tempered	Remarks
W-01	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	
W-02	2'-8" x 4'-0"	Double Hung	<input type="checkbox"/>	
W-03	2'-0" x 3'-0"	Double Hung	<input type="checkbox"/>	
W-04	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	



WALL BRACING

WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEER/ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W.S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS w/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 8D COMMON NAILS (0.131" x 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWING. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

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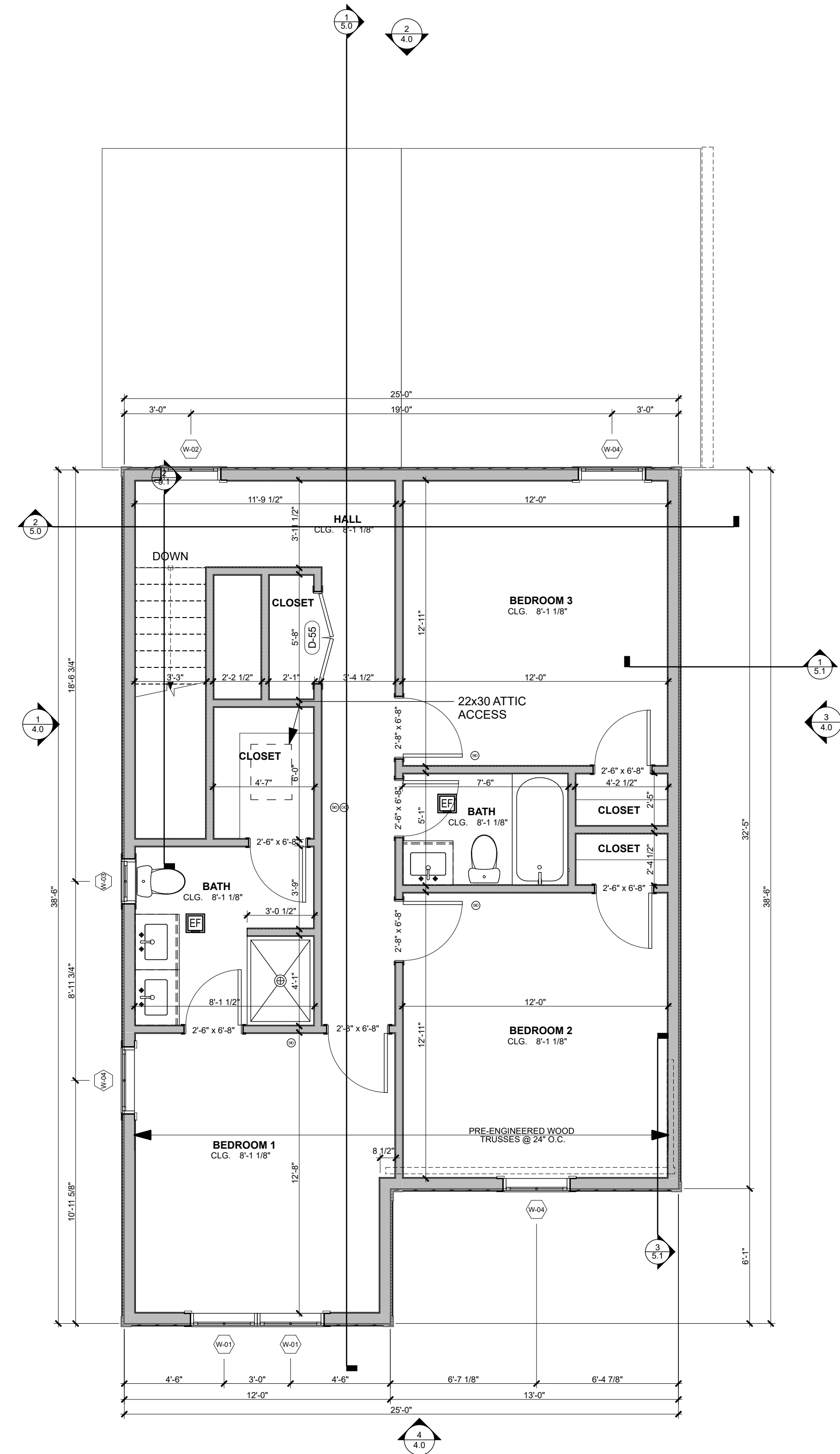
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Window Schedule

ID	Unit Dimensions	Operation	Tempered	Remarks
W-01	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	
W-02	2'-8" x 4'-0"	Double Hung	<input type="checkbox"/>	
W-03	2'-0" x 3'-0"	Double Hung	<input type="checkbox"/>	
W-04	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	



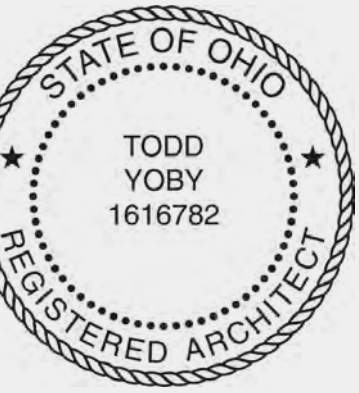
1 Second Floor Plan

SCALE: 1/4" = 1'-0"



Area Schedule

LEVEL	Area (SF)
FIRST FLOOR	892
GARAGE	220
SECOND FLOOR	883
TOTAL	1,995 ft²



A PROPOSED RESIDENCE FOR:
Hamilton County Land Revitalization Corp
 3 East Fourth Street
 Cincinnati, Ohio, 45202

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ISSUED: DATE:

FILE NUMBER: 24-450

DRAWN BY: HB
 CHECKED BY: TY

PERMIT DATE:

DRAWING TITLE:

Second Floor Plan



A PROPOSED RESIDENCE FOR:
Hamilton County Land Revitalization Corp
3 East Fourth Street
Cincinnati, Ohio, 45202

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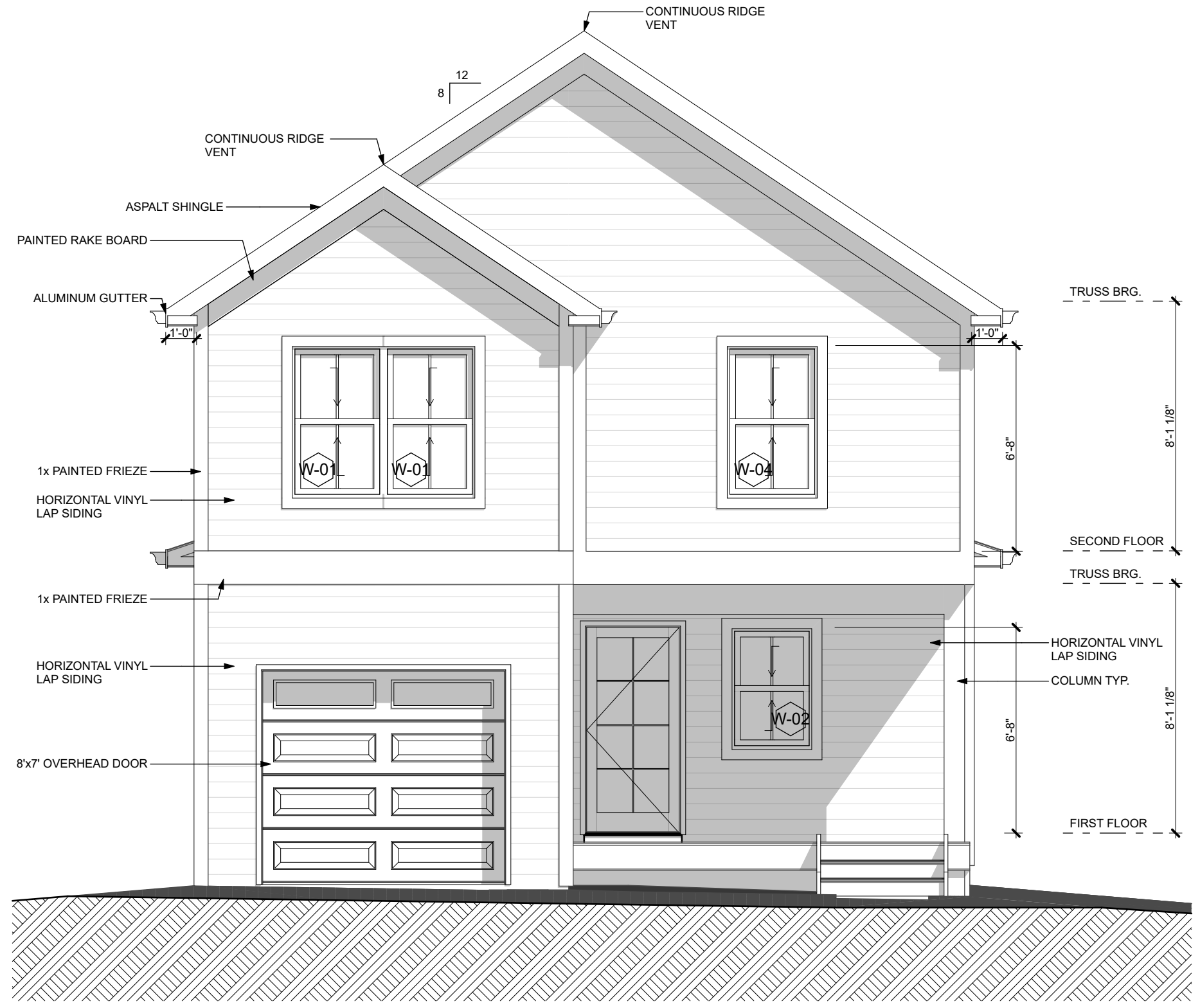
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DRAWING TITLE:

Exterior Elevations

Exterior Elevation General Notes

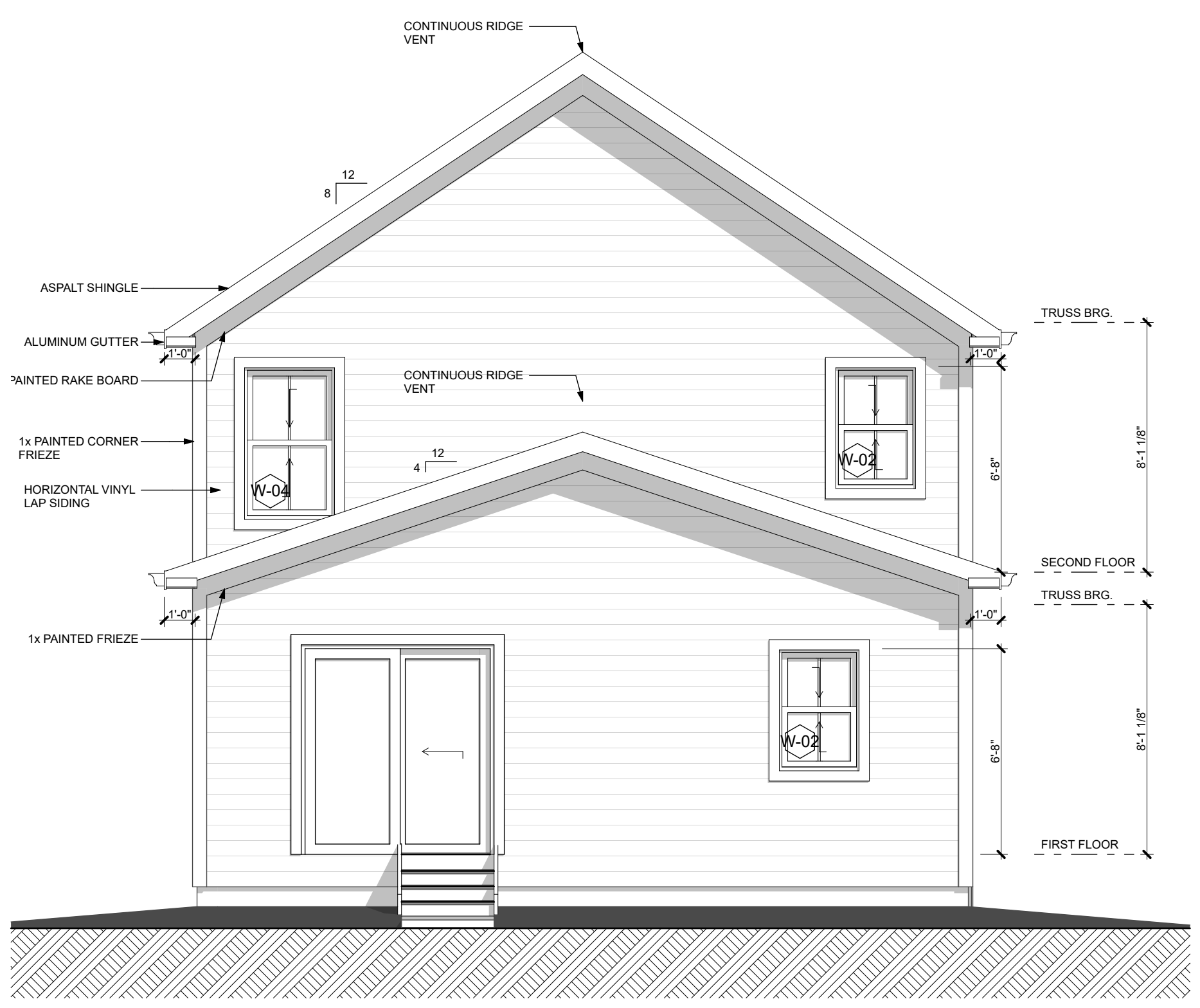
- 1) - VERIFY IN FIELD ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- 2) - ALL METAL COPING, METAL FASCIA, METAL FLASHING, ROOF ACCESSORIES, LOUVERS, SHALL BE PREFINISHED UNLESS NOTED OTHERWISE.
- 3) - REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO FINISH PAVEMENT AND FINISH GRADE ELEVATIONS.
- 4) - ELEVATIONS MAY NOT SHOW ALL MECHANICAL / ELECTRICAL / PLUMBING / ETC. ROOF TOP EQUIPMENT AND THROUGH-WALL PENETRATIONS. REFER TO AND COORDINATE WITH MECHANICAL / ELECTRICAL / PLUMBING / ETC. FOR SUCH EQUIPMENT AND PENETRATIONS
- 5) - REFER TO WALL SECTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIAL, ETC.
- 6) - DIMENSIONS SHOWN ARE FOR EASE OF TAKE-OFF ONLY. BIDDERS TO VERIFY QUANTITIES.



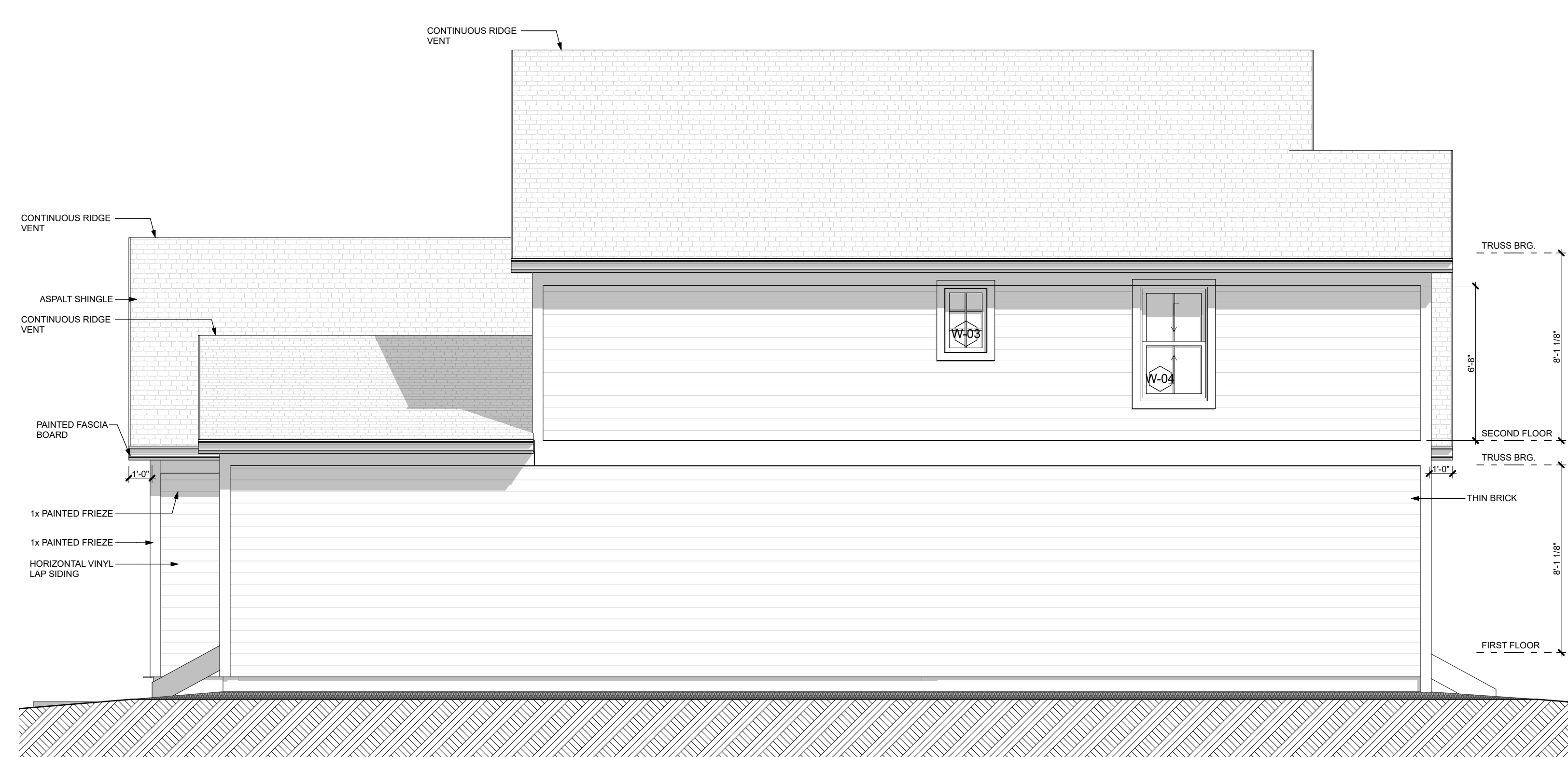
4 Front Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



3 Right Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



2 Rear Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



1 Left Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



Sheet Index

C.0	Cover Sheet
C.1	Structural Notes
2.0	Foundation & First Floor Plans
3.0	Second Floor Plan
4.0	Exterior Elevations
5.0	Building Sections
5.1	Detail Sections

Drawing Symbols

	Exhaust Fan
	Smoke Detector
	Carbon Monoxide Detector
	Floor Drain
	Hose Bib
	Section/Elevation Marker
	Material Tag
	Window Tag

General Notes

GOVERNING CODE - 2019 OHIO RESIDENTIAL CODE. ALL WORK SHALL CONFORM TO THIS CODE AND ALL OTHER LOCAL AND APPLICABLE CODES.

BIDDING INSTRUCTIONS:
CONTRACTOR TO BID SCOPE OF WORK DEFINED HEREIN IN LINE-ITEM FORMAT. OWNER MAY ASK FOR ADDITIONAL BREAKDOWN OF BID PRIOR TO AWARD. REFER TO CONSTRUCTION DOCUMENT SHEETS FOR ADDITIONAL NOTES.

- DO NOT SCALE DRAWINGS
- ALL BEDROOMS SHALL HAVE A MINIMUM OF ONE WINDOW THAT COMPLIES WITH LOCAL EGRESS REQUIREMENTS
- STRUCTURAL FRAMING MEMBER TO HAVE A MINIMUM FB = 1275 PSI
- ALL EXTERIOR BEARING WALL HEADERS TO BE (3) 2x10's
ALL EXTERIOR BEARING HEADERS LESS THAN 6'-0" SPAN REQ. 1 JACK 1 KING EACH SIDE
ALL EXTERIOR BEARING HEADERS MORE THAN 6'-0" SPAN REQ. 2 JACK 2 KING EACH SIDE
ALL INTERIOR BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x8's U.N.O.
ALL INTERIOR BEARING HEADERS 4'-0" - 6'-0" SPAN TO BE (2) 2x10's U.N.O.
ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x4's U.N.O.
ALL INTERIOR NON-BEARING HEADERS 4'-0" - 8'-0" SPAN TO BE (2) 2x6's U.N.O.
- DETAILS FOR ALL ENGINEERED LUMBER PRODUCTS, I.E. GLU-LAMS, MICRO-LAMS, TJI'S ROOF TRUSSES, ETC. TO BE FURNISHED BY MANUFACTURER.
- GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECTS OFFICE TRUSS DESIGN AND LAYOUT DRAWINGS IF DESIGN DEVIATES FROM ARCHITECTS CONSTRUCTION DOCUMENTS. SUBMIT DRAWINGS WITH DEVIATIONS NOTED FOR REVIEW AND COORDINATION PRIOR TO BEGINNING OF CONSTRUCTION AND TRUSS FABRICATION
- INSTALL SAFETY GLAZING IN LOCATIONS SPECIFIED BY LOCAL CODE.
- CONTRACTOR TO PROVIDE "GRACE" ICE & WATER SHIELD AT ALL ROOF EAVES, PEAKS, VALLEYS & VERTICAL WALL INTERSECTIONS. SHEET SHALL EXTEND FROM EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. (RCO 905.2.7.1)
- SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATION AND INSTALLATION SPECIFICATIONS
- SEPARATE CIVIL ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY GENERAL CONTRACTOR.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD - ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- IN FULL DEPTH MASONRY WALLS. EXPANSION JOINTS SHALL BE LOCATED IN FIELD BY MASON, MAX DISTANCE 20'-0" O.C. ON LONGER STRAIGHT CONTINUOUS WALLS.
- FLOOR SYSTEMS TO BE DESIGNED AT L/240 AT ALL TILE FLOOR LOCATION. COORDINATE WITH ARCHITECT IF NOT CLEARLY INDICATED ON DRAWINGS.
- SMOKE ALARMS TO USE DUAL-TYPE DETECTION INCLUDING BOTH PHOTOELECTRIC AND IONIZATION TECHNOLOGIES PER RCO SECTION 514.1.

Energy Efficiency Compliance

1.) METHOD: RCO 2019 - RCO PRESCRIPTIVE METHOD. SEE MIN. VALUES BELOW

DESCRIPTION	VALUE	NOTES
WINDOWS	U FACTOR = .32	
DOORS - SOLID	U FACTOR = .32	
DOORS - GLAZED	U FACTOR = .35 MAX	
SKYLIGHT	U FACTOR = .55	IF APPLICABLE NO ATTIC
CEILING - FLAT ROOF	R-VALUE = 30 MIN	
CEILING - ATTIC	R-VALUE = 49 MIN	
FRAMED WALLS	R-VALUE = 20 MIN	2x6 WOOD FRAMING
FLOOR	R-VALUE = 19 MIN	
BASEMENT WALLS	R-VALUE = 10	R-13 POLY FACED
SLAB	R-VALUE = 10 MIN	2" MIN DEPTH CONTINUOUS
CRAWL SPACE	R-VALUE = 10 MIN	
HVAC DUCT	R-VALUE = 8/6 MIN (<3")	UNCOND. SPACES

- HIGH EFFICIENCY LAMPS TO BE PROVIDED IN MIN. 90% OF ALL LIGHTING FIXTURES
- PROGRAMMABLE THERMOSTAT TO BE PROVIDED AND INITIALLY SET FOR HEATING OF 70°F AND COOLING OF 78°F

Design Loads

- MIN. REQUIRED DESIGN LOADS:
A) FLOOR LIVE LOAD = 40 PSF; SNOW = 20 PSF
B) GARAGE FLOOR LIVE LOAD = 50 PSF
C) WIND LOAD = 115 MPH (3-SEC GUST)
D) SOIL BEARING CAPACITY = 1,500 PSF
- THE MAX ALLOWABLE LIVE LOAD DEFLECTION OR STRUCTURAL MEMBERS:
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- ALL PRE-ENGINEERED STRUCTURAL WOOD CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & INSTALLATION INSTRUCTIONS (INCLUDING PROPER FASTENER TYPE AND SIZE).
- WOOD HEADERS WITH CLEAR SPANS OVER 6FT REQUIRE A MINIMUM (2) JACK STUDS & (1) KING STUD EACH SIDE.



A PROPOSED RESIDENCE FOR:
Hamilton County Land Revitalization Corp
3 East Fourth Street
Cincinnati, Ohio, 45202

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ISSUED: DATE:

FILE NUMBER: 24-450

DRAWN BY: HB
CHECKED BY: TY

PERMIT DATE:

DRAWING TITLE:

Cover Sheet

C.0

GENERAL NOTES

- EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETED.
- NO SMOKING ALLOWED IN BUILDING AT ANY TIME.
- IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY THE COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ON THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MAY NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.
- ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOR OVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALLED.
- CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MUST USE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.
- OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.
- CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.
- ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY OWNER WALK THROUGHS.
- ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AND ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS AND SUBCONTRACTORS RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

- FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.
- STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.
- PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.
- IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 1/2"
- INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

- FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.
- ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
- SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION.
- PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

PER RCO 314.3
 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL.
 B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM.
 C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO 314.3

PER RCO 315.1
 A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS OR IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM.

EGRESS WINDOW REQUIREMENTS
 OPENING > 5.7 SQ FT
 OPENING WIDTH > 24"
 OPENING HEIGHT > 20"
 MAX DISTANCE FROM THE FLOOR: 44"

SAFETY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.
- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.
- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANES GREATER THAN 9 SF.

408.3 UNVENTED CRAWL SPACE

FORCED AIR REGISTER TO DELIVER SUPPLY AIR FROM FURNACE OR AIR HANDLER TO CRAWL SPACE @ MIN. 1 CFM/IN PER 50 SF OF UNDER-FLOOR AREA INCLUDING RETURN AIR PATHWAY

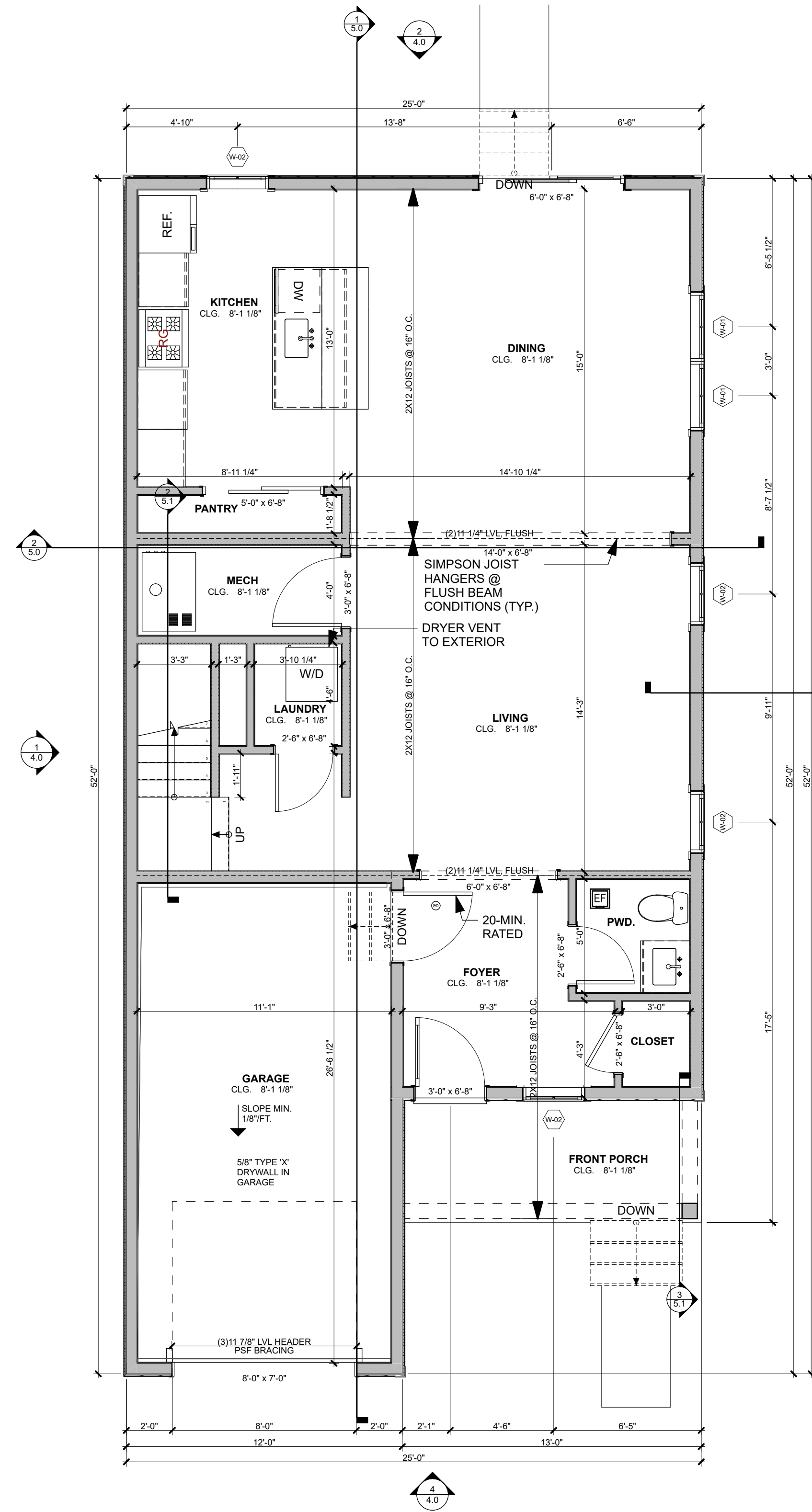
FOUNDATION NOTES

- FOUNDATION SYSTEM DESIGN IS BASED ON A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3000 PSI IN THE FOOTINGS. IF A LOWER STRENGTH CONCRETE WILL BE USED, NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION, SO THAT THE REINFORCING STEEL SIZE AND/OR SPACING CAN BE ADJUSTED TO SUIT THE CONCRETE STRENGTH.
- FOOTING DESIGNS ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF MINIMUM.
- CONTINUOUS FOOTING TO BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL DESIGNED BY CIVIL ENGINEER AND TESTED BY GEO-TECHNICAL ENGINEER. IT IS CONTRACTOR'S RESPONSIBILITY TO OVERSEE AND ENSURE ALL BEARING LOCATIONS MEET THESE REQUIREMENTS. ANY CHANGES MADE IN THE FIELD SHOULD BE CONSULTED WITH THE ARCHITECT.

WALL BRACING

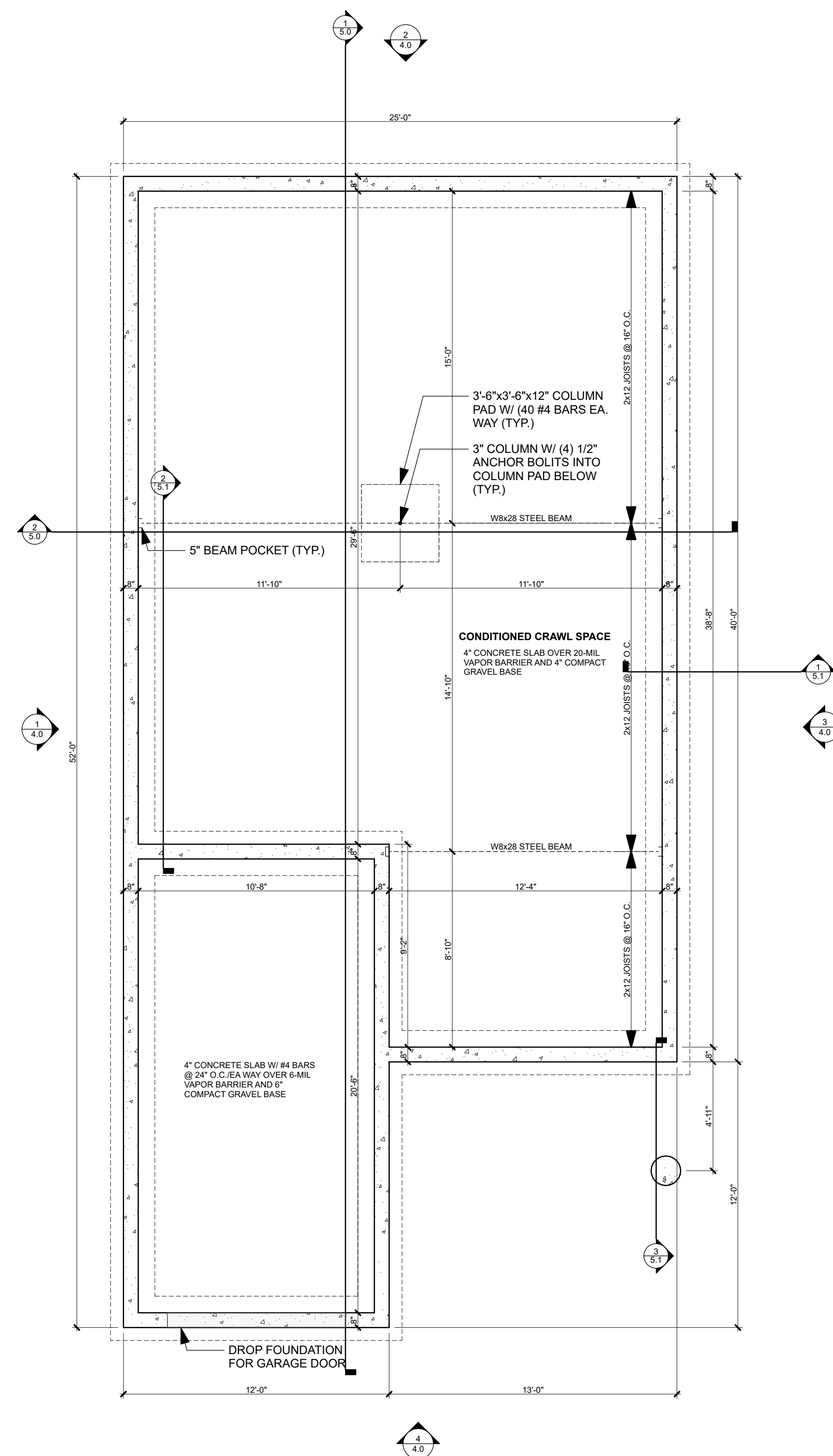
WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W/S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS w/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 3D COMMON NAILS (0.131" x 2 1/2" LONG) AT 8" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWINGS. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

Window Schedule				
ID	Unit Dimensions	Operation	Tempered	Remarks
W-01	3'-0"x5'-0"	Double Hung	<input type="checkbox"/>	
W-02	2'-8"x4'-0"	Double Hung	<input type="checkbox"/>	
W-03	2'-0"x3'-0"	Double Hung	<input type="checkbox"/>	
W-04	3'-0"x5'-0"	Double Hung	<input type="checkbox"/>	



2 First Floor Plan

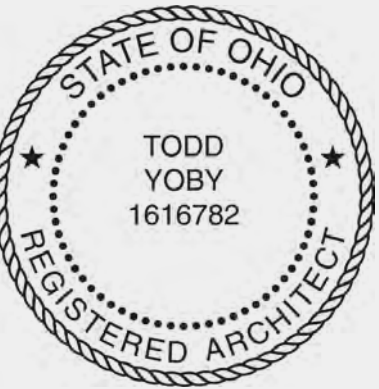
SCALE: 1/4" = 1'-0"



1 Foundation Plan

SCALE: 1/4" = 1'-0"

LEVEL	Area Schedule	Area (SF)
FIRST FLOOR		892
GARAGE		220
SECOND FLOOR		883
		1,995 ft²



WALL BRACING

WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED/ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W.S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS w/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 8D COMMON NAILS (0.131" x 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWING. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.

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OPENING WIDTH > 24"
OPENING HEIGHT > 20"
MAX DISTANCE FROM THE FLOOR: 44"

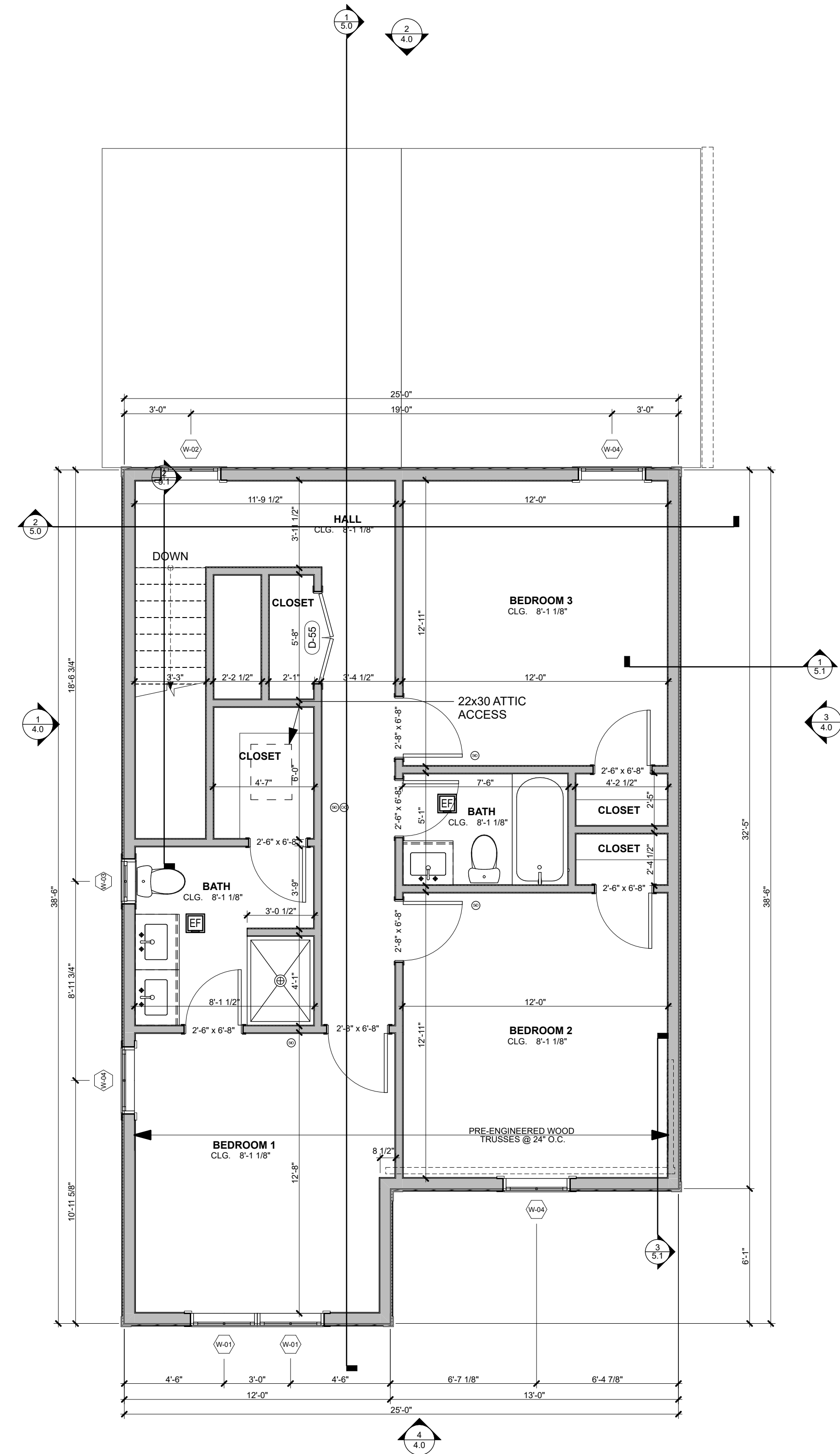
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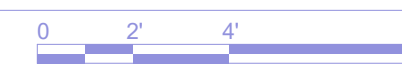
Window Schedule

ID	Unit Dimensions	Operation	Tempered	Remarks
W-01	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	
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W-04	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	



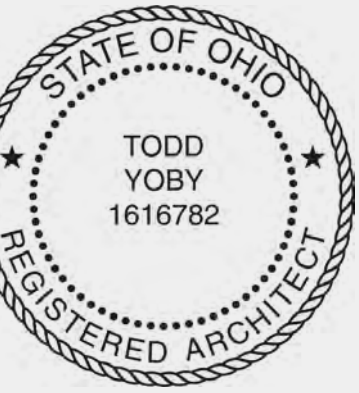
1 Second Floor Plan

SCALE: 1/4" = 1'-0"



Area Schedule

LEVEL	Area (SF)
FIRST FLOOR	892
GARAGE	220
SECOND FLOOR	883
TOTAL	1,995 ft²



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ISSUED: _____ DATE: _____

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DRAWN BY: HB
CHECKED BY: TY

PERMIT DATE: _____

DRAWING TITLE:

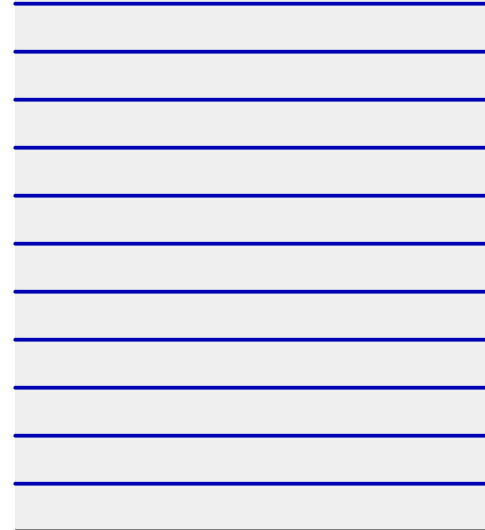
Second Floor Plan



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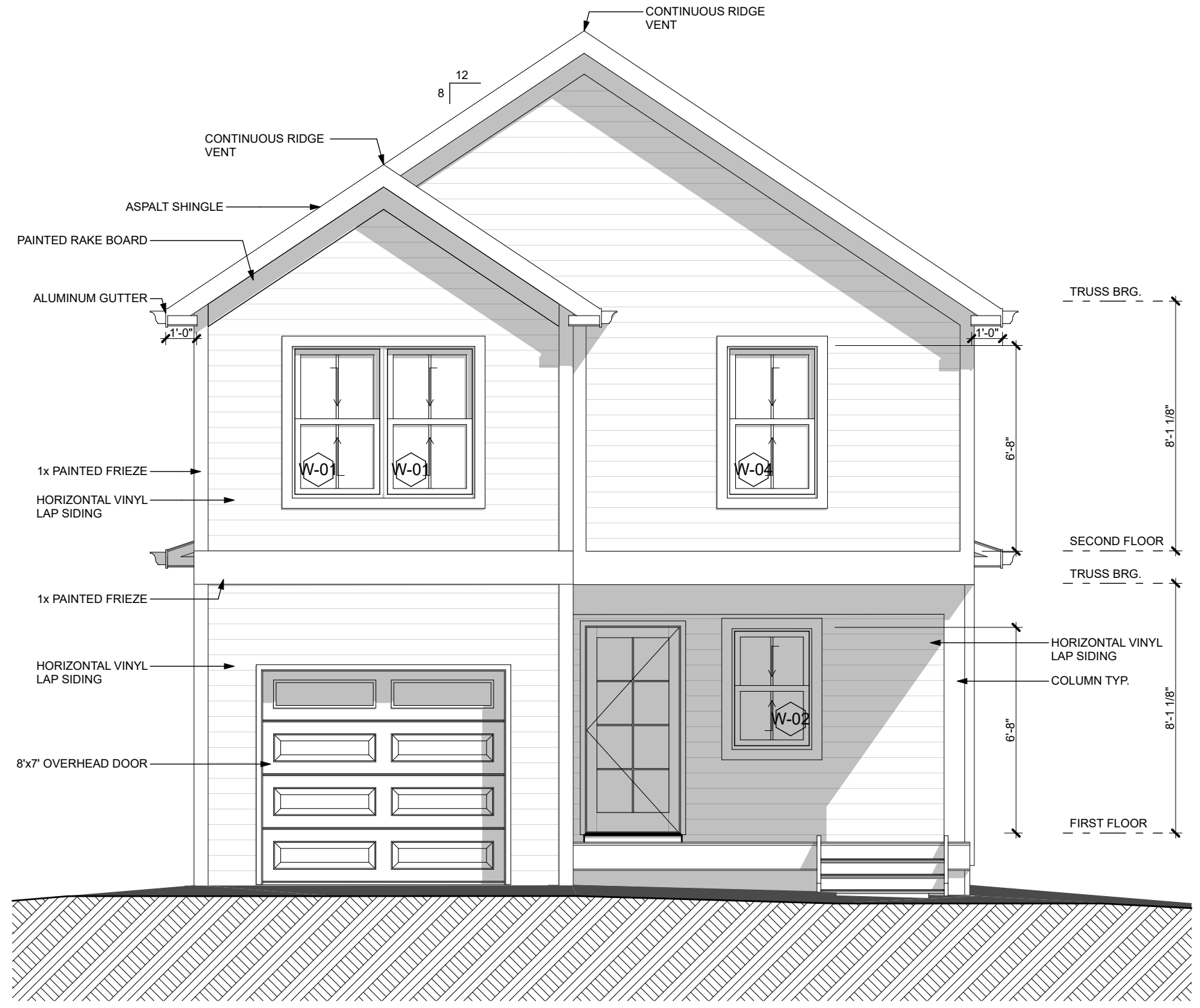
PERMIT DATE: _____

DRAWING TITLE:

Exterior Elevations

Exterior Elevation General Notes

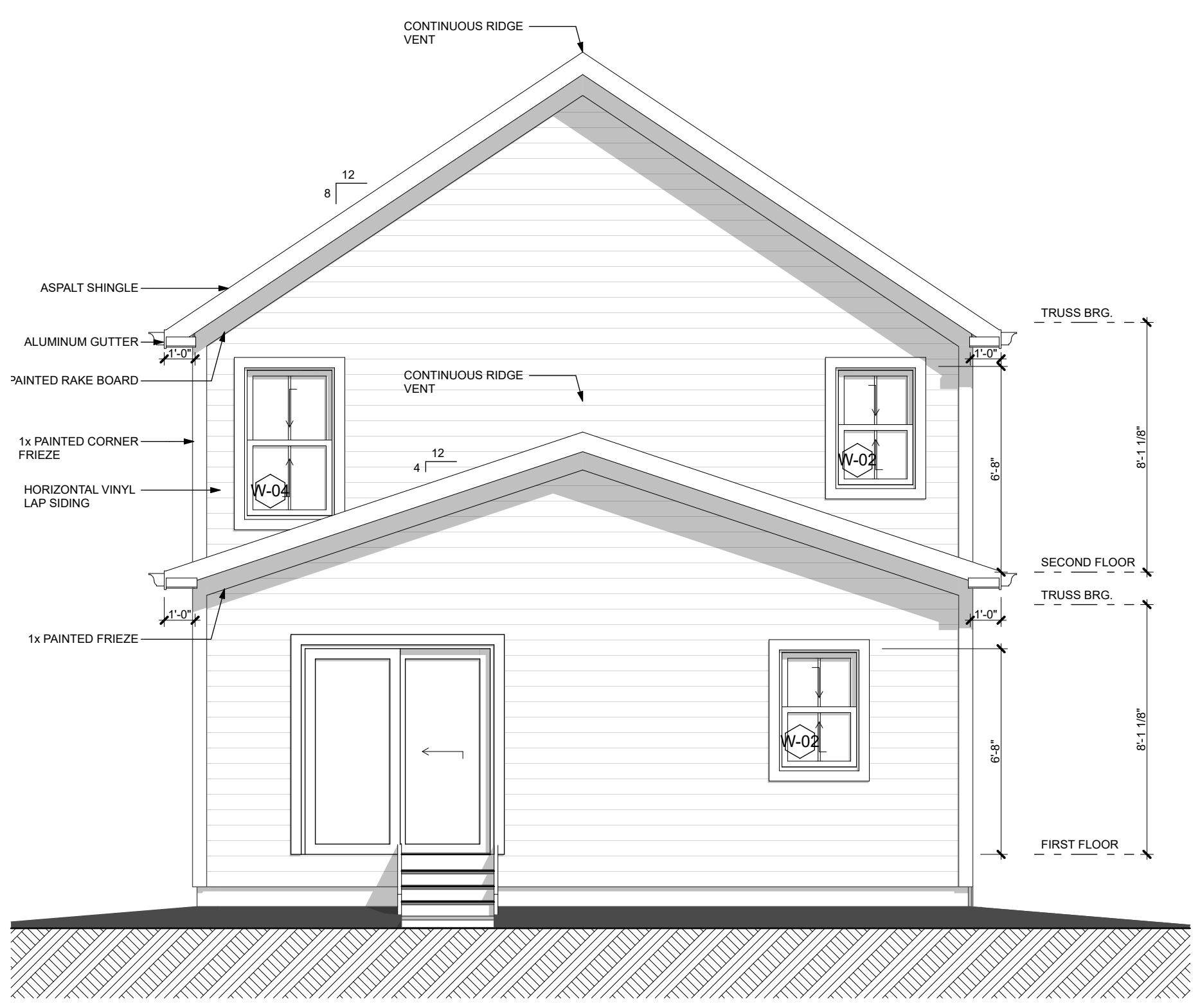
- 1) - VERIFY IN FIELD ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- 2) - ALL METAL COPING, METAL FASCIA, METAL FLASHING, ROOF ACCESSORIES, LOUVERS, SHALL BE PREFINISHED UNLESS NOTED OTHERWISE.
- 3) - REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO FINISH PAVEMENT AND FINISH GRADE ELEVATIONS.
- 4) - ELEVATIONS MAY NOT SHOW ALL MECHANICAL / ELECTRICAL / PLUMBING / ETC. ROOF TOP EQUIPMENT AND THROUGH-WALL PENETRATIONS. REFER TO AND COORDINATE WITH MECHANICAL / ELECTRICAL / PLUMBING / ETC. FOR SUCH EQUIPMENT AND PENETRATIONS
- 5) - REFER TO WALL SECTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIAL, ETC.
- 6) - DIMENSIONS SHOWN ARE FOR EASE OF TAKE-OFF ONLY. BIDDERS TO VERIFY QUANTITIES.



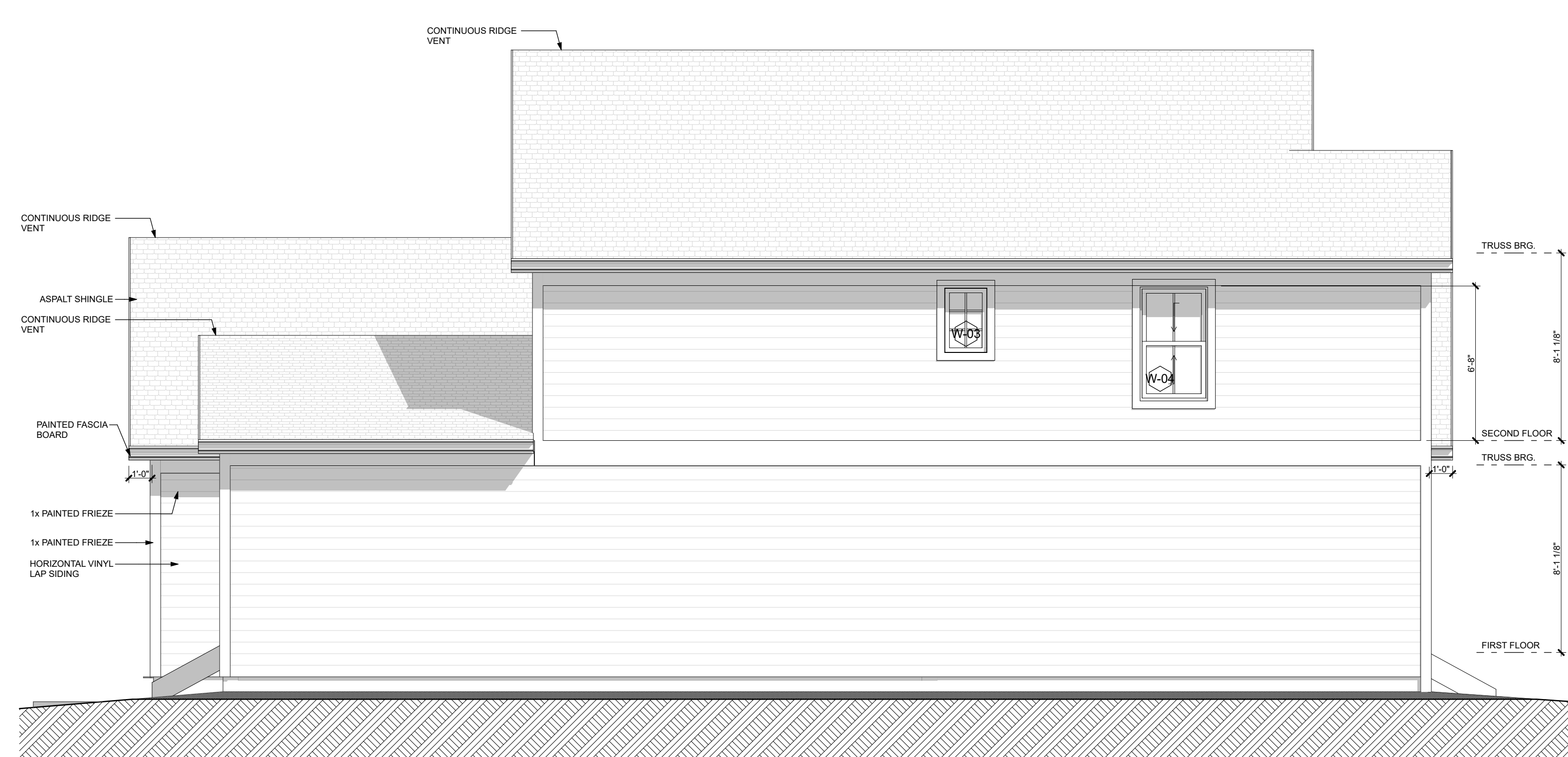
4 Front Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



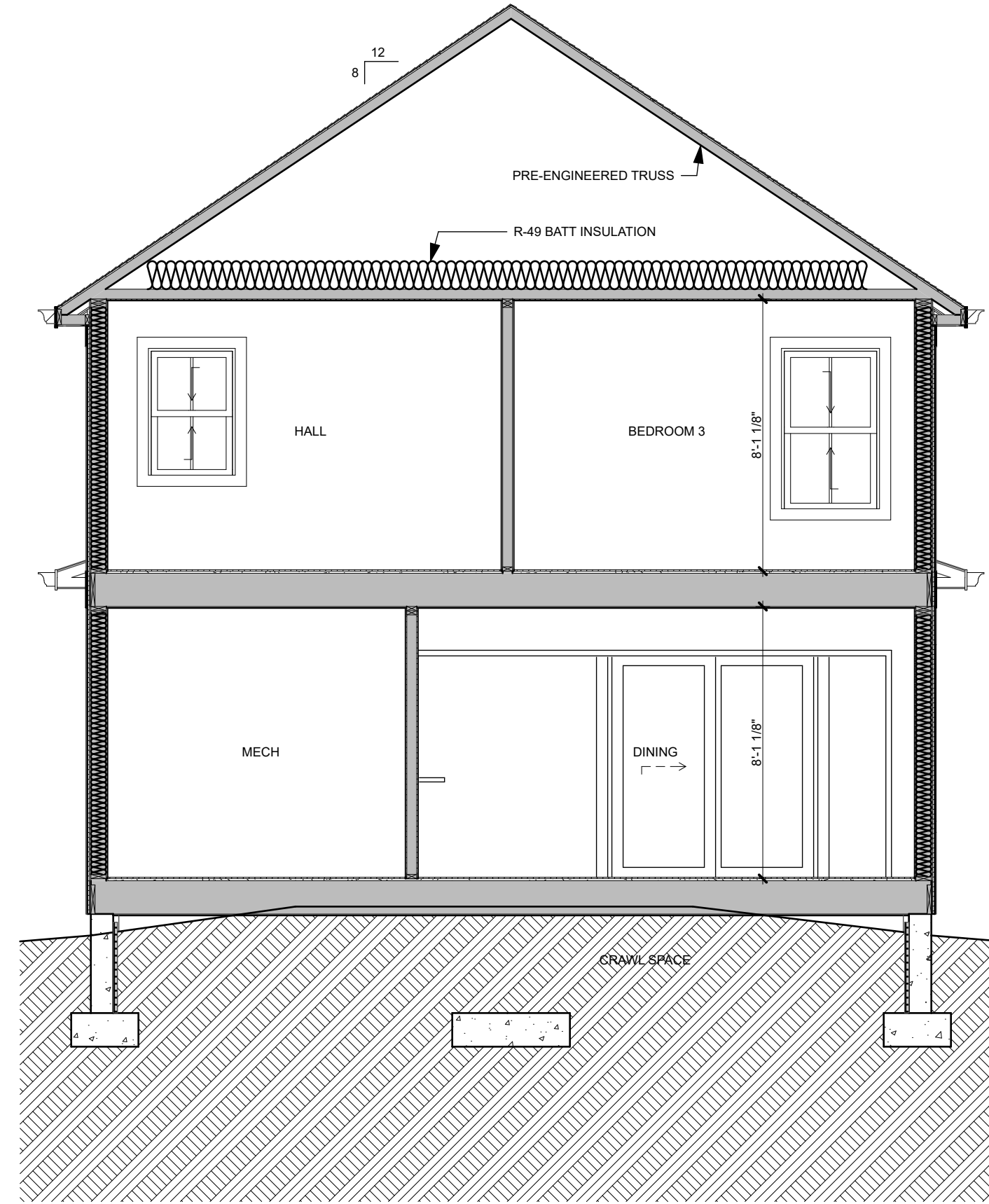
3 Right Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



2 Rear Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

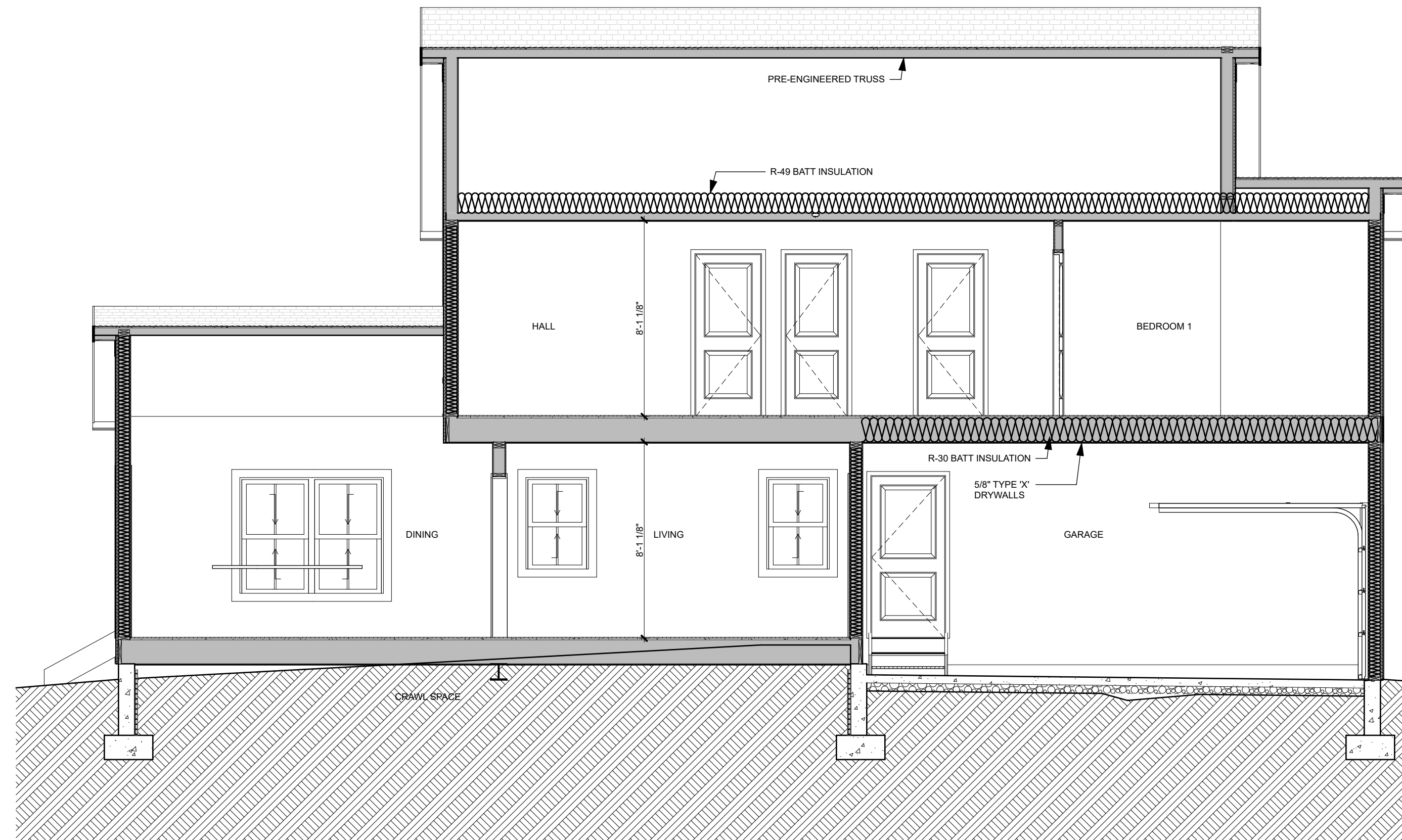
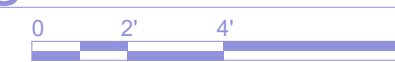


1 Left Elevation
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



2 Woodburn Building Section A

SCALE: 1/4" = 1'-0"



1 Building Section B

SCALE: 1/4" = 1'-0"



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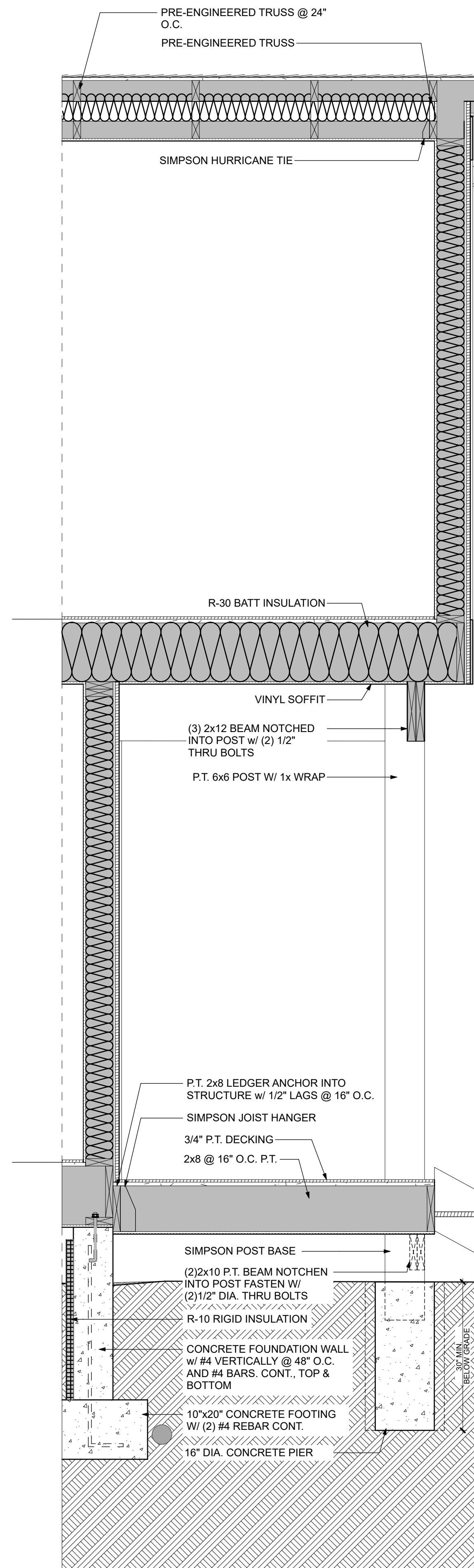
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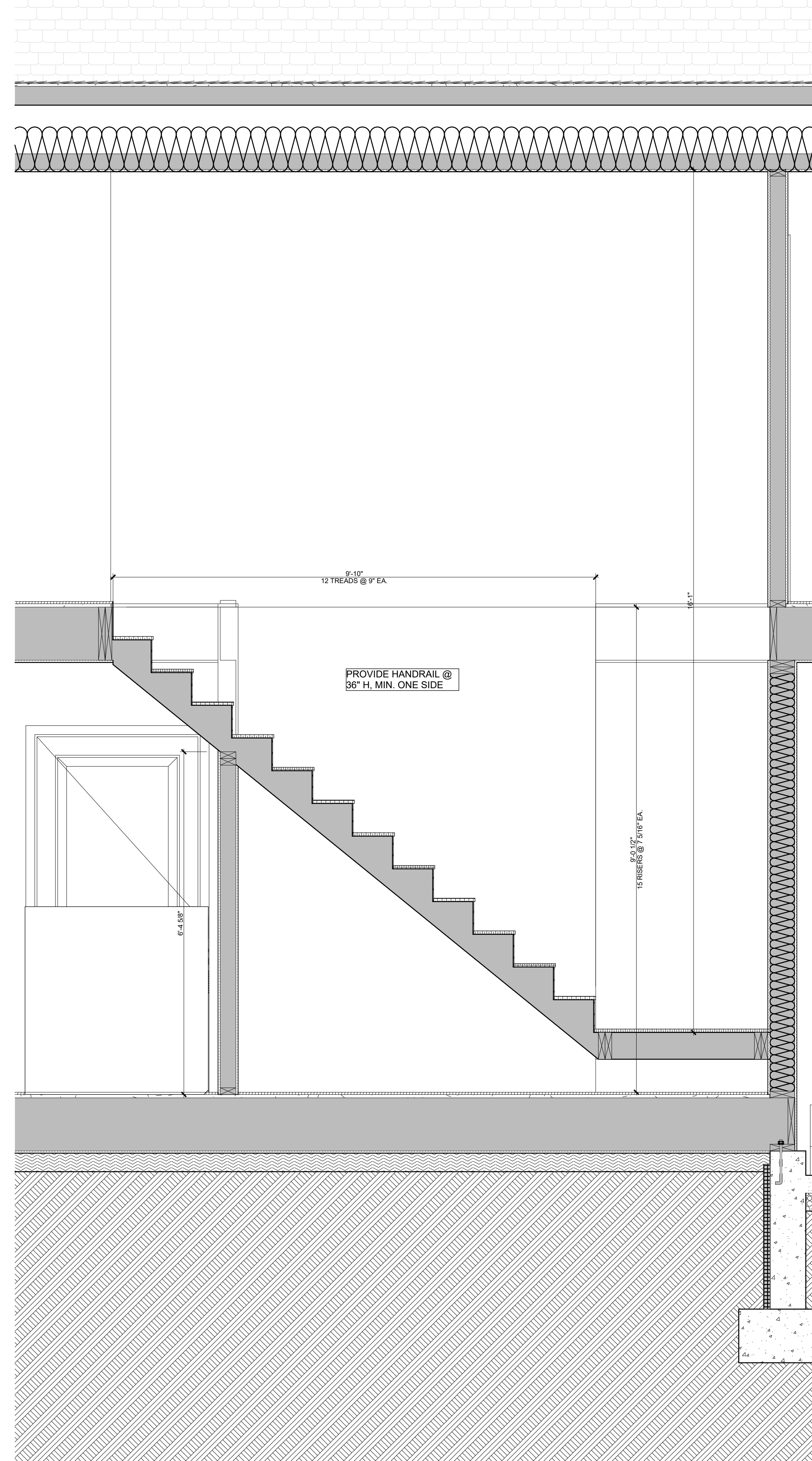
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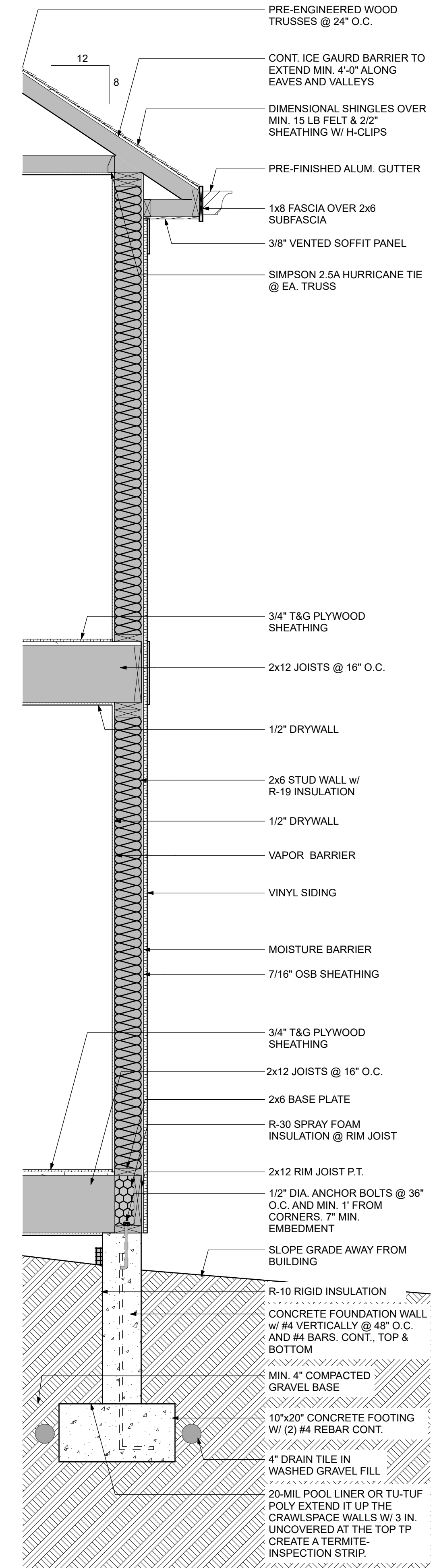
Building Sections



3 Porch Section
SCALE: 3/4" = 1'-0"



2 Stair Section
SCALE: 3/4" = 1'-0"



1 Typical Wall Section
SCALE: 3/4" = 1'-0"



Sheet Index

- C.0 Cover Sheet
- C.1 Structural Notes
- 3.0 Floor Plans
- 4.0 Exterior Elevations
- 5.0 Building Sections
- 5.1 Detail Sections
- 1 Plot Plan

Drawing Symbols

- Exhaust Fan
- Smoke Detector
- Carbon Monoxide Detector
- Floor Drain
- Hose Bib
- Section/Elevation Marker
- Material Tag
- Window Tag

General Notes

GOVERNING CODE - 2018 OHIO RESIDENTIAL CODE. ALL WORK SHALL CONFORM TO THIS CODE AND ALL OTHER LOCAL AND APPLICABLE CODES.

BIDDING INSTRUCTIONS:
CONTRACTOR TO BID SCOPE OF WORK DEFINED HEREIN IN LINE-ITEM FORMAT. OWNER MAY ASK FOR ADDITIONAL BREAKDOWN OF BID PRIOR TO AWARD. REFER TO CONSTRUCTION DOCUMENT SHEETS FOR ADDITIONAL NOTES.

1. DO NOT SCALE DRAWINGS
2. ALL BEDROOMS SHALL HAVE A MINIMUM OF ONE WINDOW THAT COMPLIES WITH LOCAL EGRESS REQUIREMENTS
3. STRUCTURAL FRAMING MEMBER TO HAVE A MINIMUM FB = 1275 PSI
4. ALL EXTERIOR BEARING WALL HEADERS TO BE (3) 2x10's
ALL EXTERIOR BEARING HEADERS LESS THAN 6'-0" SPAN REQ. 1 JACK 1 KING EACH SIDE
ALL EXTERIOR BEARING HEADERS MORE THAN 6'-0" SPAN REQ. 2 JACK 2 KING EACH SIDE
ALL INTERIOR BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x8's U.N.O.
ALL INTERIOR BEARING HEADERS 4'-0" - 6'-0" SPAN TO BE (2) 2x10's U.N.O.
ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE (2) 2x4's U.N.O.
ALL INTERIOR NON-BEARING HEADERS 4'-0" - 8'-0" SPAN TO BE (2) 2x6's U.N.O.
5. DETAILS FOR ALL ENGINEERED LUMBER PRODUCTS, I.E. GLU-LAMS, MICRO-LAMS, TJI'S ROOF TRUSSES, ETC. TO BE FURNISHED BY MANUFACTURER.
6. GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECTS OFFICE TRUSS DESIGN AND LAYOUT DRAWINGS IF DESIGN DEVIATES FROM ARCHITECTS CONSTRUCTION DOCUMENTS. SUBMIT DRAWINGS WITH DEVIATIONS NOTED FOR REVIEW AND COORDINATION PRIOR TO BEGINNING OF CONSTRUCTION AND TRUSS FABRICATION
7. INSTALL SAFETY GLAZING IN LOCATIONS SPECIFIED BY LOCAL CODE.
8. CONTRACTOR TO PROVIDE "GRACE" ICE & WATER SHIELD AT ALL ROOF EAVES, PEAKS, VALLEYS & VERTICAL WALL INTERSECTIONS. SHEET SHALL EXTEND FROM EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. (RCO 905.2.7.1)
9. SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATION AND INSTALLATION SPECIFICATIONS
10. SEPARATE CIVIL ENGINEERING DOCUMENTS SHALL BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
11. SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY GENERAL CONTRACTOR.
12. THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
13. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
14. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD - ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
15. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
16. IN FULL DEPTH MASONRY WALLS, EXPANSION JOINTS SHALL BE LOCATED IN FIELD BY MASON, MAX DISTANCE 20'-0" O.C. ON LONGER STRAIGHT CONTINUOUS WALLS.
17. FLOOR SYSTEMS TO BE DESIGNED AT L/240 AT ALL TILE FLOOR LOCATION. COORDINATE WITH ARCHITECT IF NOT CLEARLY INDICATED ON DRAWINGS.
18. SMOKE ALARMS TO USE DUAL-TYPE DETECTION INCLUDING BOTH PHOTOELECTRIC AND IONIZATION TECHNOLOGIES PER RCO SECTION 514.1.

Energy Efficiency Compliance

1.) METHOD: RCO 2019 - RCO PRESCRIPTIVE METHOD. SEE MIN. VALUES BELOW

DESCRIPTION	VALUE	NOTES
WINDOWS	U FACTOR = .32	
DOORS - SOLID	U FACTOR = .32	
DOORS - GLAZED	U FACTOR = .35 MAX	
SKYLIGHT	U FACTOR = .55	IF APPLICABLE
CEILING - FLAT ROOF	R-VALUE = 30 MIN	NO ATTIC
CEILING - ATTIC	R-VALUE = 49 MIN	
FRAMED WALLS	R-VALUE = 20 MIN	2x6 WOOD FRAMING
FLOOR	R-VALUE = 19 MIN	
BASEMENT WALLS	R-VALUE = 10	R-13 POLY FACED
SLAB	R-VALUE = 10 MIN	2" MIN DEPTH
CRAWL SPACE	R-VALUE = 10 MIN	CONTINUOUS
HVAC DUCT	R-VALUE = 8/6 MIN (-3")	UNCOND. SPACES

- 2.) HIGH EFFICIENCY LAMPS TO BE PROVIDED IN MIN. 90% OF ALL LIGHTING FIXTURES
- 3.) PROGRAMMABLE THERMOSTAT TO BE PROVIDED AND INITIALLY SET FOR HEATING OF 70°F AND COOLING OF 78°F

Design Loads

- 1.) MIN. REQUIRED DESIGN LOADS:
A) FLOOR LIVE LOAD = 40 PSF; SNOW = 20 PSF
B) GARAGE FLOOR LIVE LOAD = 50 PSF
C) WIND LOAD = 115 MPH (3-SEC GUST)
D) SOIL BEARING CAPACITY = 1,500 PSF

- 2.) THE MAX ALLOWABLE LIVE LOAD DEFLECTION OR STRUCTURAL MEMBERS:
A) CONCRETE FLOORS = L/360
B) WALLS W/ MASONRY VENEER = L/240
C) WALLS W/ SIDING = L/120
D) ROOF TRUSSES (OR RAFTERS) = L/180
E) ALL OTHER STRUCTURAL MEMBERS = L/240

- 3.) MIN. COMPRESSIVE STRENGTH OF CONCRETE:
A) FOOTING/PIERS = 3,500 PSI
B) FOUNDATION WALLS = 3,500 PSI
C) GARAGE FLOORS = 4,000 PSI
D) EXTERIOR WALKS & LANDINGS = 4,500 PSI

ALL CONCRETE EXPOSED TO WEATHER OR SUBJECT TO FREEZING OR THAWING DURING CONSTRUCTION SHALL HAVE AIR ENTRAINMENT BETWEEN 5-7%.

4.) ALL RAFTERS, RIDGE BOARDS, RIDGE BEAMS, HEADERS & CEILING JOISTS (OR CROSS TIES) SHALL BE MIN. NO. 2 GRADE SO. YELLOW PINE. ALL EXTERIOR WALL STUDS SHALL BE MIN. STUD GRADE SPF.

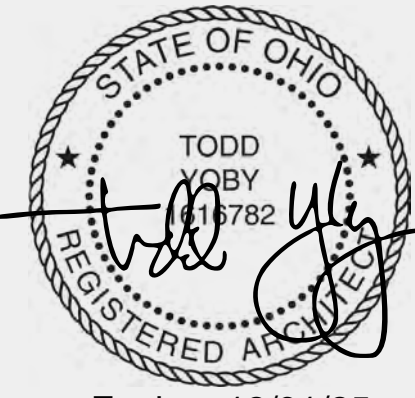
5.) ALL LUMBER IN DIRECT CONTACT WITH CONCRETE, MASONRY OR IN PROXIMITY TO EXPOSED GROUND SHALL BE PRESSURE TREATED FOR EXTERIOR USE. ALL LUMBER IN DIRECT CONTACT WITH THE GROUND SUPPORTING DECK TO BE PRESSURE TREATED FOR GROUND CONTACT USE.

6.) ALL STRUCTURAL MEMBERS SHALL BE FULL LENGTH (NO SPLICES) OR SPLICES SHALL BE APPROVED & OCCUR AT ADEQUATE STRUCTURAL BEARING.

7.) ALL STRUCTURAL BOLTS SHALL BE A MIN 1/2" DIAM. CORROSION-RESISTANT, AND SHALL BE COMPATIBLE WITH THE SPECIFIC TYPE OF PRESSURE TREATED LUMBER BEING USED.

8.) ALL PRE-ENGINEERED STRUCTURAL WOOD CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & INSTALLATION INSTRUCTIONS (INCLUDING PROPER FASTENER TYPE AND SIZE).

9.) WOOD HEADERS WITH CLEAR SPANS OVER 6FT REQUIRE A MINIMUM (2) JACK STUDS & (1) KING STUD EACH SIDE.



Expires 12/31/25

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Cover Sheet

C.0

GENERAL NOTES

- 1) - EACH CONTRACTOR SHALL BE REQUIRED TO BROOM CLEAN AFTER WORK IS COMPLETE.
- 2) - NO SMOKING ALLOWED IN BUILDING AT ANY TIME.
- 3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL CONTRACTORS ACKNOWLEDGE BY THE COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ON THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY LIABLE FOR ANY DAMAGE WHEN IT MAY NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.
- 4) - ALL CONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTOR OVER SHOES, FOR ENTRANCE INTO THE PROPERTY AFTER FLOOR FINISH HAS BEEN INSTALLED.
- 5) - CONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN PROPERTY AND MUST USE AN APPROVED PORT-A-LET OR OTHER TOILET AREAS OFFSITE FOR PRIVATE USE.
- 6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.
- 7) - CONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.
- 8) - ALL CONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- 9) - FINISH CONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY OWNER WALK THROUGHS.
- 10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AND ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS AND SUBCONTRACTORS RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

INTERIOR FRAMING GENERAL NOTES

- 1) - FRAMER TO PROVIDE DRYWALL BLOCKING AT ALL REQUIRED LOCATIONS.
- 2) - STUD WALLS TO BE SPACED AT 16" O.C., UNLESS NOTED.
- 3) - PROVIDE CEILING FAN BLOCKING IN CENTER OF BEDROOMS.
- 4) - IN NO CASE SHALL ANY EXTERIOR SHEATHING BE OF A SHEET WIDE THICKNESS LESS THAN 1/2"
- 5) - INSTALL ALL PRE-MFG. PRODUCTS PER MFG'S SPECIFICATIONS

FLOOR PLAN NOTES

- 1) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.
- 2) - ALL EXTERIOR DIMENSIONS ARE FACE OF CONC. TO FACE OF STUD. ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
- 3) - SEE INTERIOR FINISH AND FRAMING NOTES FOR ADDITIONAL INFORMATION.
- 4) - PROVIDE NEW SMOKE DETECTORS AND CO DETECTORS IN COMPLIANCE WITH RCO 314 AND 315 AND PER THE FOLLOWING REQUIREMENTS:

PER RCO 314.3
 A. INSTALL A DUAL SENSING (PHOTOELECTRIC AND IONIZATION) SMOKE DETECTOR OUTSIDE OF THE BEDROOMS, AND A MIN. OF ONE ON EVERY LEVEL.
 B. INSTALL AN IONIZATION OR DUAL SENSING SMOKE DETECTOR IN EACH BEDROOM.
 C. SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED PER RCO 314.3

PER RCO 315.1
 A. INSTALL A CARBON MONOXIDE DETECTOR OUTSIDE OF THE BEDROOMS OR IN THE COMMON AREAS OUTSIDE THE BEDROOMS WHERE THE LENGTH IS LESS THAN 10 FEET OR IF MORE THAN 10 FEET ADD ONE OUTSIDE OF EACH BEDROOM.

5) EGRESS WINDOW REQUIREMENTS
 OPENING > 5.7 SQ FT
 OPENING WIDTH > 20"
 OPENING HEIGHT > 20"
 MAX DISTANCE FROM THE FLOOR: 44"

6) SAFETY GLAZING AS REQUIRED PER RCO 308.4 INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

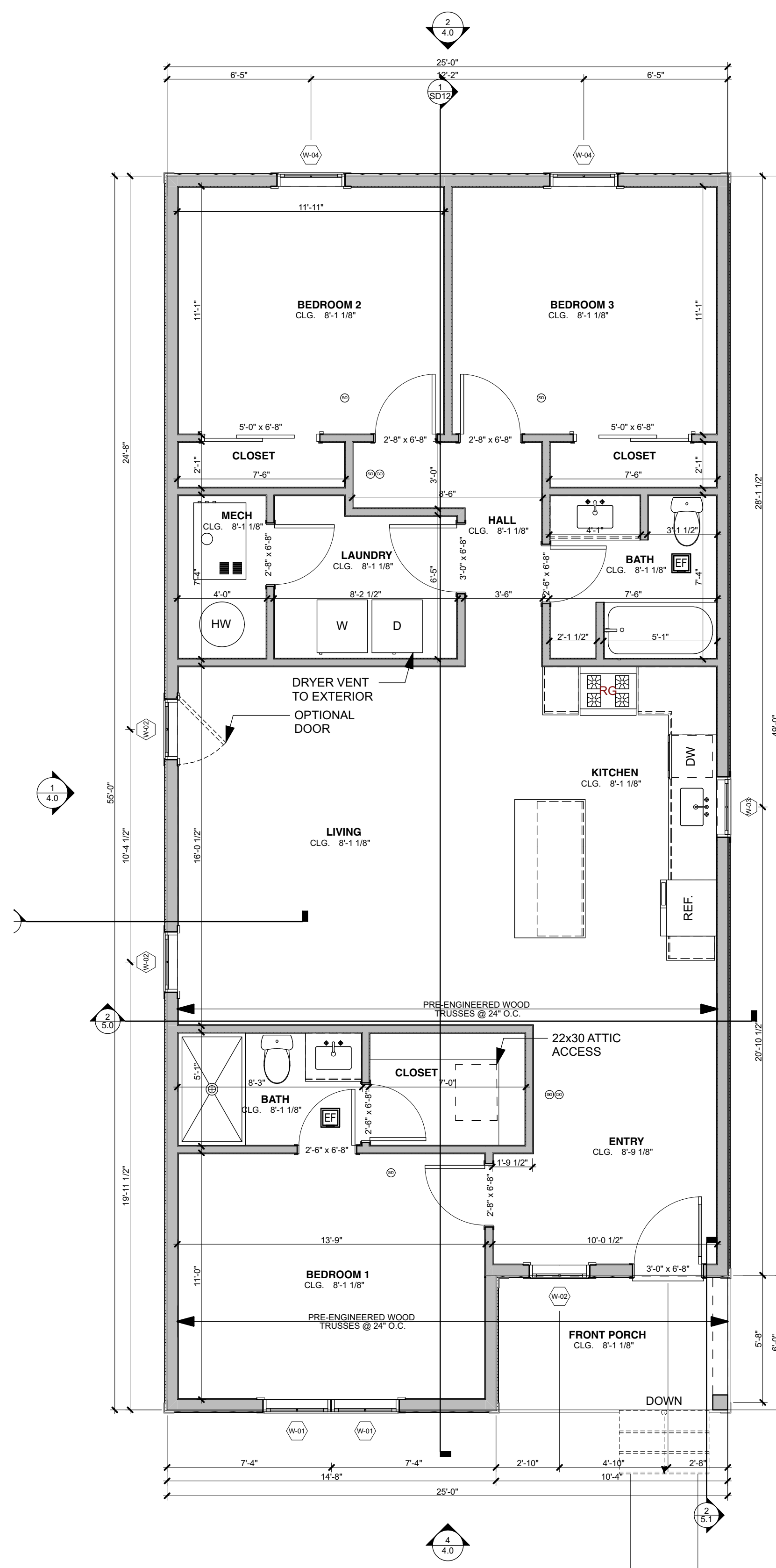
- GLAZING IN ALL OPERABLE PANELS OF SWING, SLIDING, AND BI-FOLD DOORS.
- GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE CLOSED DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR.
- GLAZING FOR ALL WINDOWS WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE FINISHED FLOOR WITH EXPOSED AREA OF INDIVIDUAL PANELES GREATER THAN 9 SF.

FOUNDATION NOTES

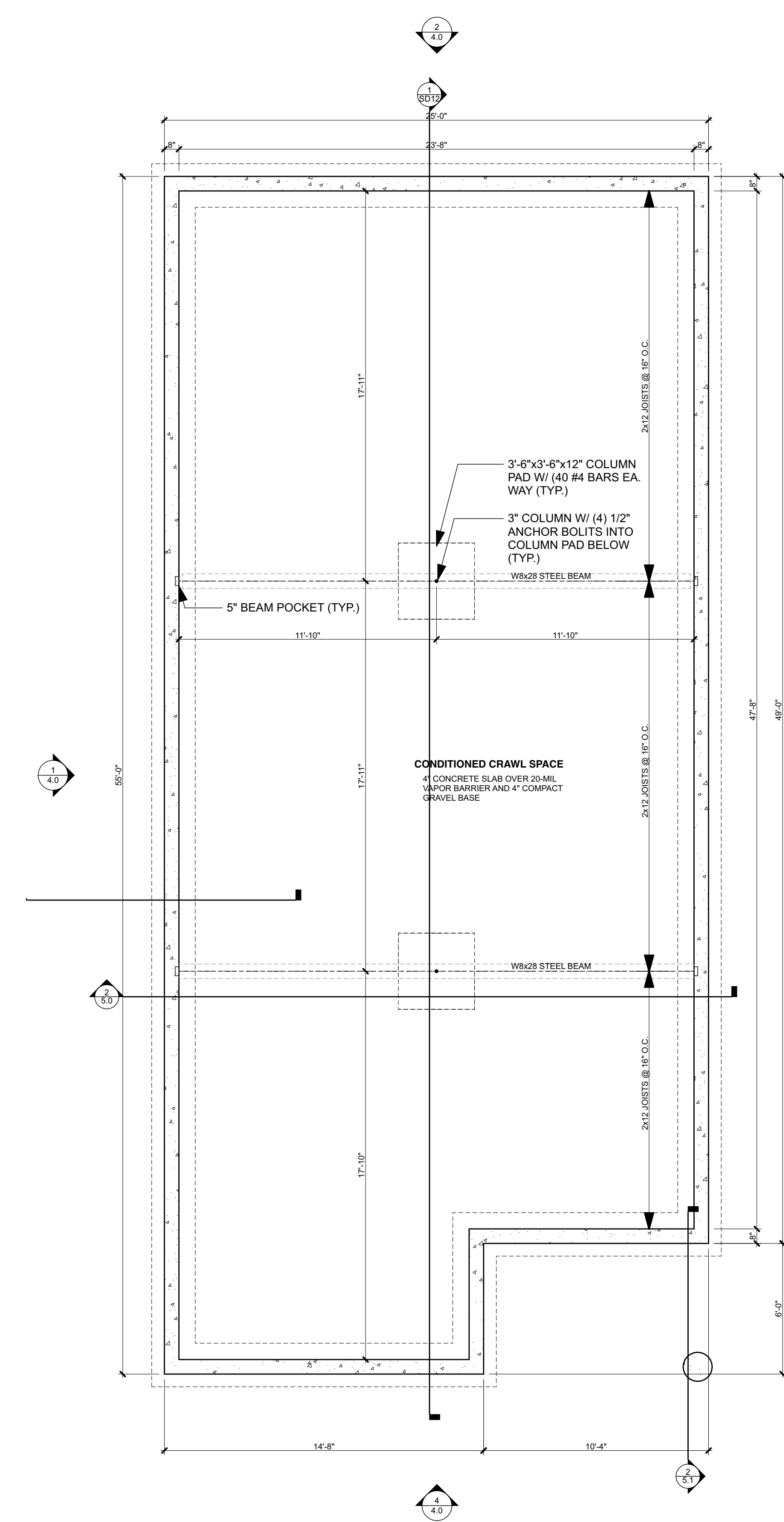
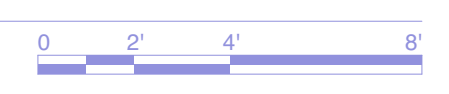
1. FOUNDATION SYSTEM DESIGN IS BASED ON A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3000 PSI IN THE FOOTINGS. IF A LOWER STRENGTH CONCRETE WILL BE USED, NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION, SO THAT THE REINFORCING STEEL SIZE AND/OR SPACING CAN BE ADJUSTED TO SUIT THE CONCRETE STRENGTH.
2. FOOTING DESIGNS ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF MINIMUM.
3. CONTINUOUS FOOTING TO BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL DESIGNED BY CIVIL ENGINEER AND TESTED BY GEO-TECHNICAL ENGINEER. IT IS CONTRACTOR'S RESPONSIBILITY TO OVERSEE AND ENSURE ALL BEARING LOCATIONS MEET THESE REQUIREMENTS. ANY CHANGES MADE IN THE FIELD SHOULD BE CONSULTED WITH THE ARCHITECT.

WALL BRACING

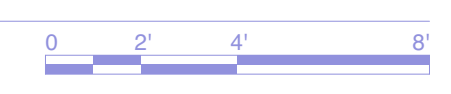
WALL BRACING IN ACCORDANCE WITH SECTION R301.1.3 ENGINEERED/ARCHITECT DESIGN WITH WOOD STRUCTURAL PANELS. W/S.P. THICKNESS TO BE MINIMUM 7/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED VERTICAL OR HORIZONTAL. NAIL PANELS W/ 6D COMMON NAILS (0.113" x 2 1/2" LONG) OR 3D COMMON NAILS (0.131" x 2 1/2" LONG) AT 8" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL PANEL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY IDENTIFIED ON THE FIELD OF THE DRAWINGS. GARAGE DOOR PORTALS TO BE SHEETED PER THIS NOTE EXCEPT ADDITION OF BLOCKING AT HORIZONTAL PANEL EDGES BETWEEN STUDS.



2 First Floor Plan
 SCALE: 1/4" = 1'-0"

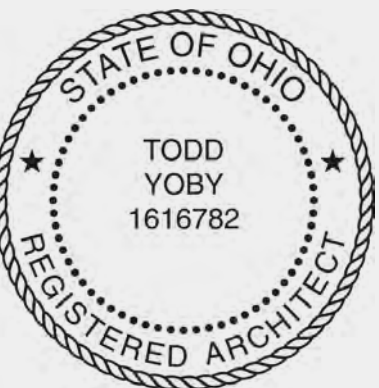


1 Foundation Plan
 SCALE: 1/4" = 1'-0"



Window Schedule				
ID	Unit Dimensions	Operation	Tempered	Remarks
W-01	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	
W-02	2'-8" x 4'-0"	Double Hung	<input type="checkbox"/>	
W-03	2'-8" x 3'-0"	Double Hung	<input type="checkbox"/>	
W-04	3'-0" x 5'-0"	Double Hung	<input type="checkbox"/>	

Area Schedule	
LEVEL	Area (SQ)
FIRST FLOOR	1,313
	1,313 ft²



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Floor Plans

3.0



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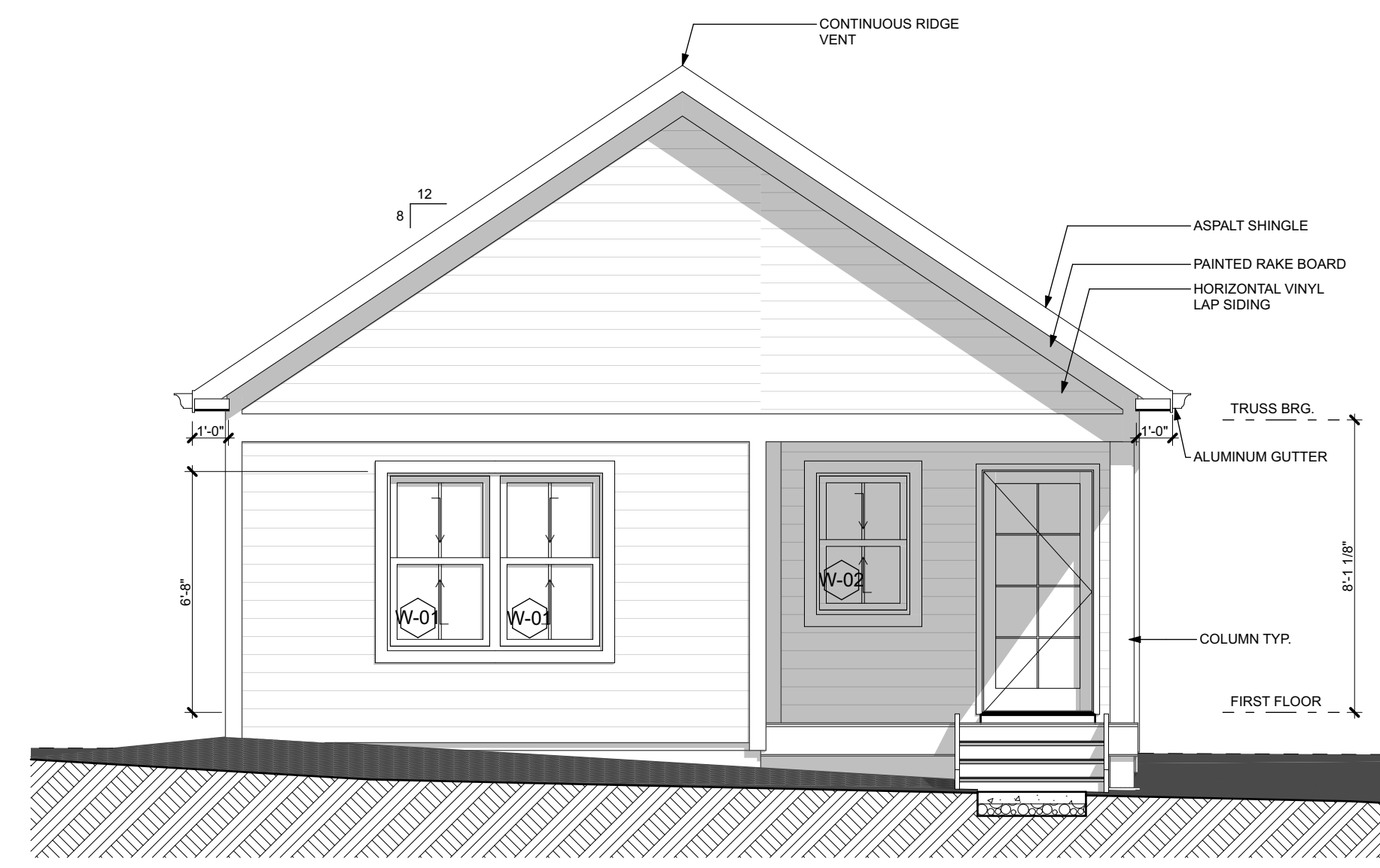
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Exterior Elevations

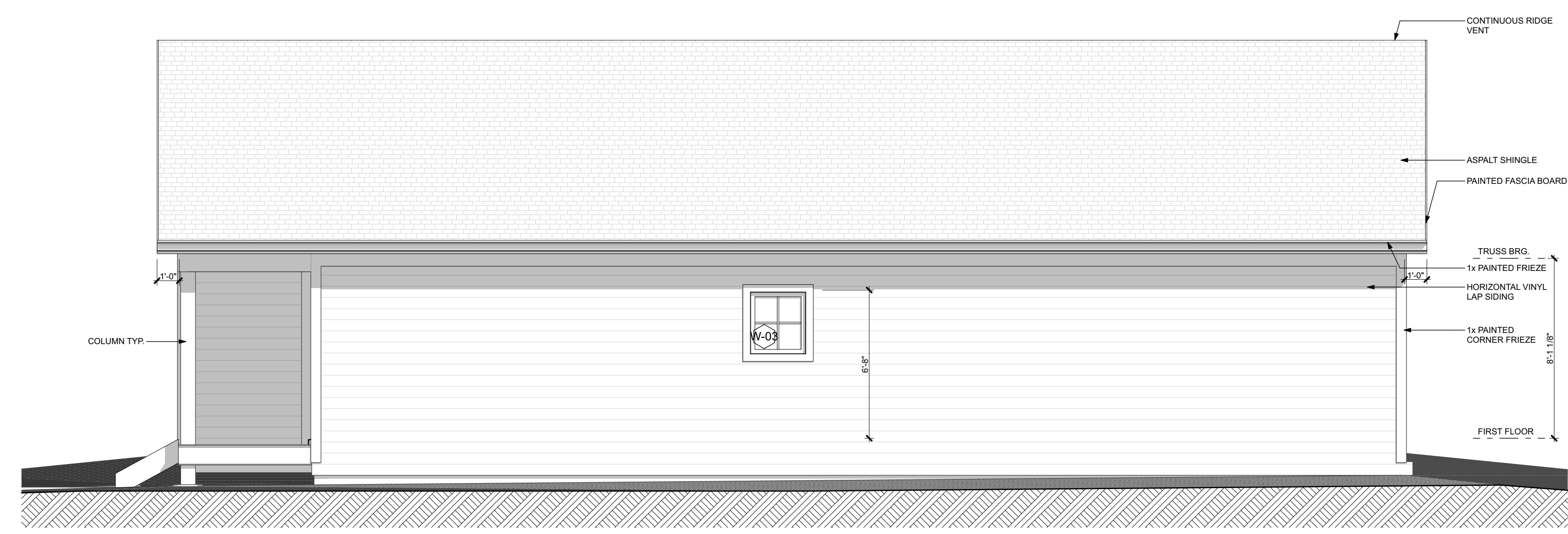
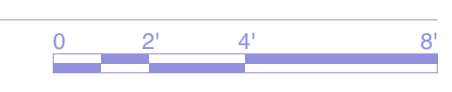
4.0

Exterior Elevation General Notes

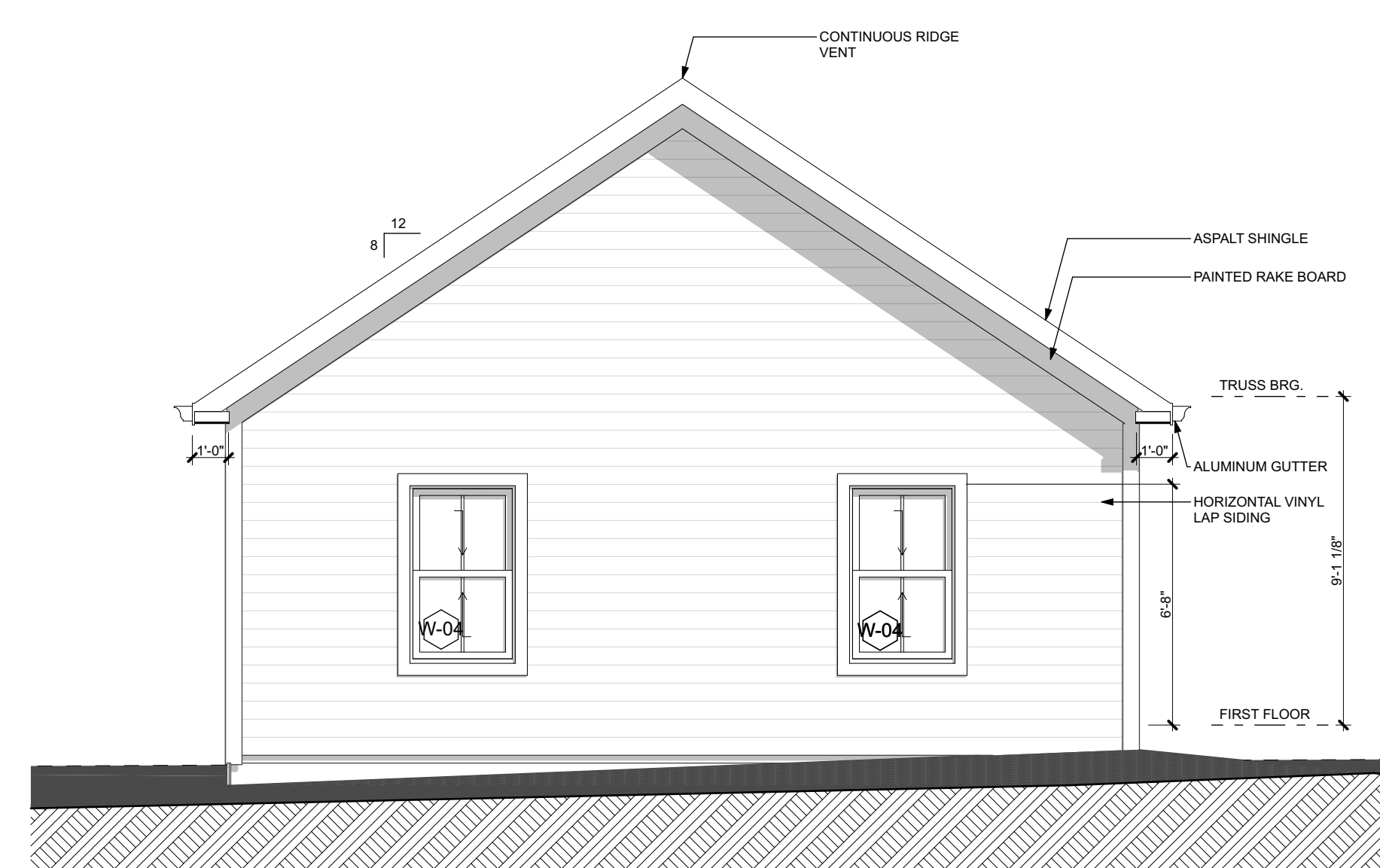
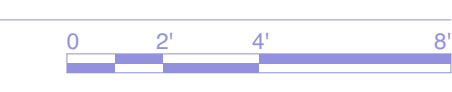
- 1) - VERIFY IN FIELD ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- 2) - ALL METAL COPING, METAL FASCIA, METAL FLASHING, ROOF ACCESSORIES, LOUVERS, SHALL BE PREFINISHED UNLESS NOTED OTHERWISE.
- 3) - REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO FINISH PAVEMENT AND FINISH GRADE ELEVATIONS.
- 4) - ELEVATIONS MAY NOT SHOW ALL MECHANICAL / ELECTRICAL / PLUMBING / ETC. ROOF TOP EQUIPMENT AND THROUGH-WALL PENETRATIONS. REFER TO AND COORDINATE WITH MECHANICAL / ELECTRICAL / PLUMBING / ETC. FOR SUCH EQUIPMENT AND PENETRATIONS
- 5) - REFER TO WALL SECTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIAL, ETC.
- 6) - DIMENSIONS SHOWN ARE FOR EASE OF TAKE-OFF ONLY. BIDDERS TO VERIFY QUANTITIES.



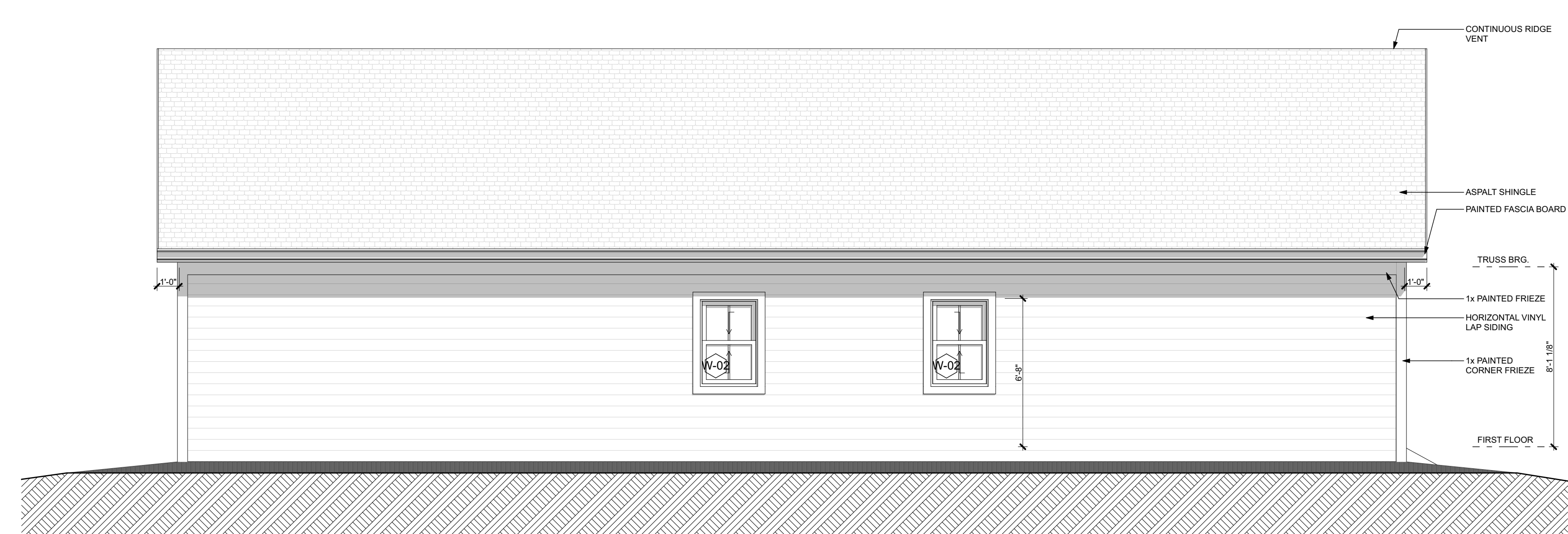
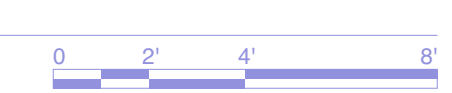
4 Front Elevation
SCALE: 1/4" = 1'-0"



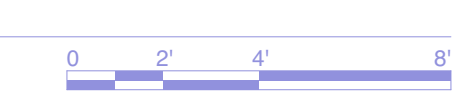
3 Right Elevation
SCALE: 1/4" = 1'-0"

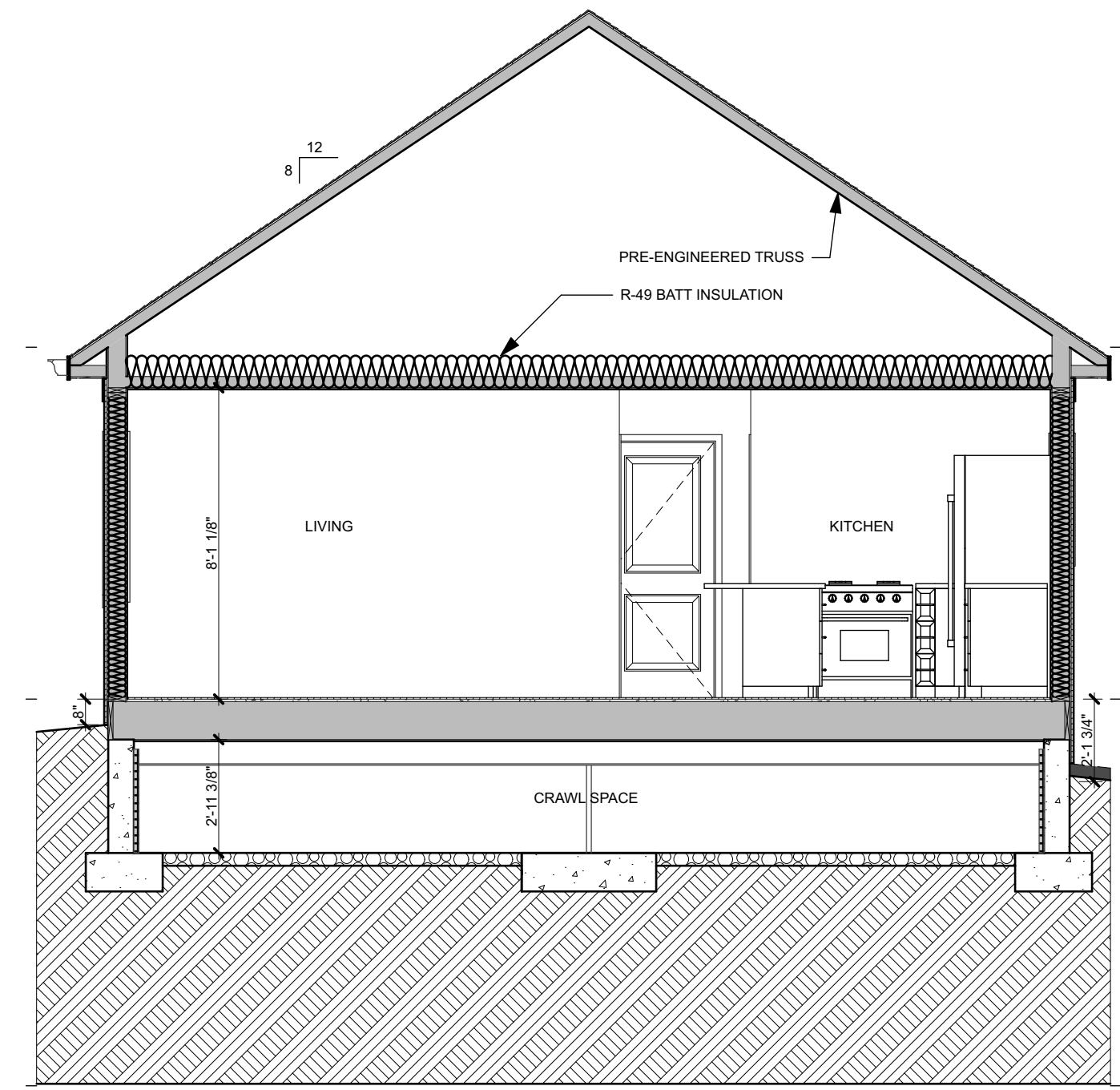


2 Rear Elevation
SCALE: 1/4" = 1'-0"

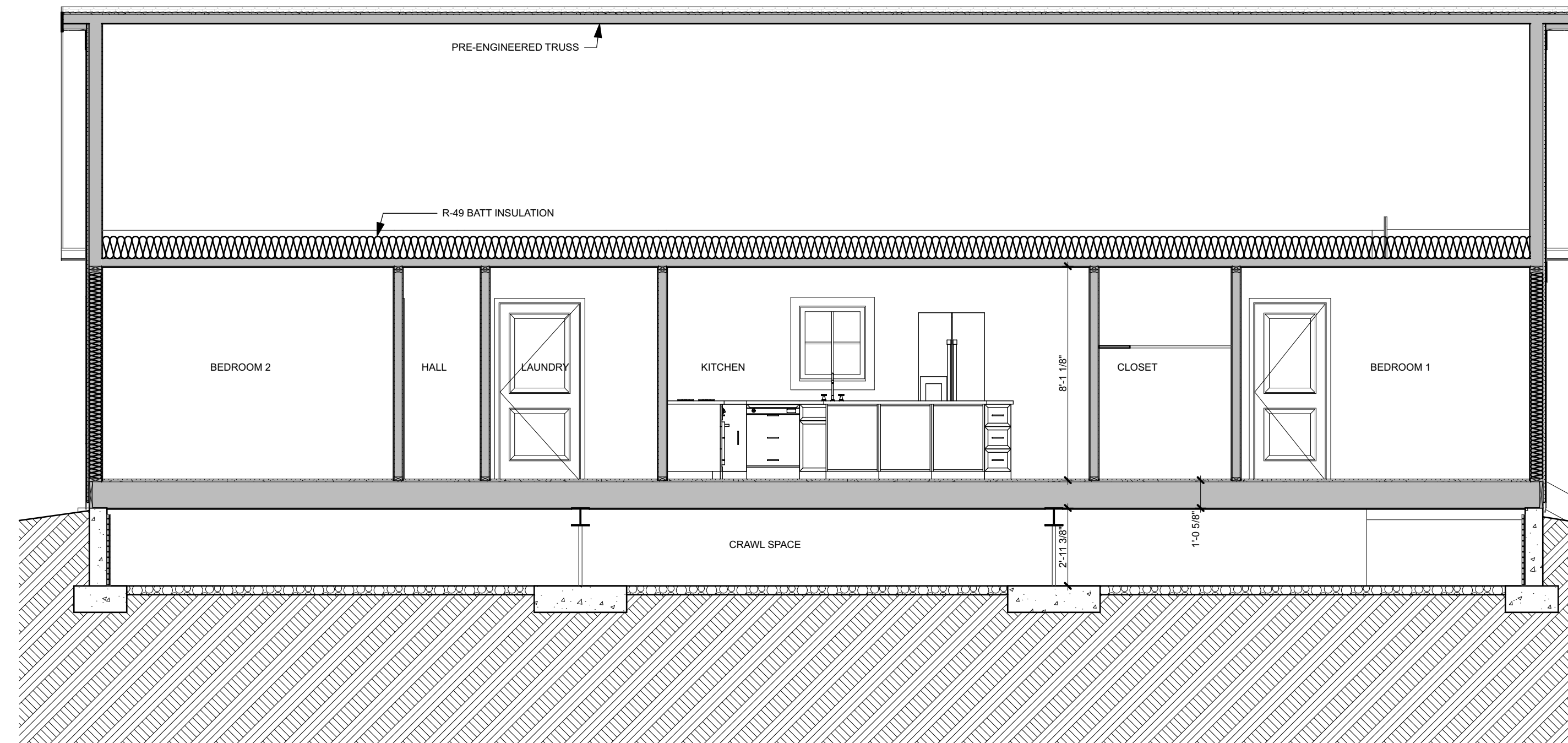


1 Left Elevation
SCALE: 1/4" = 1'-0"





2 Building Section A
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



1 Building Section B
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



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Building Sections



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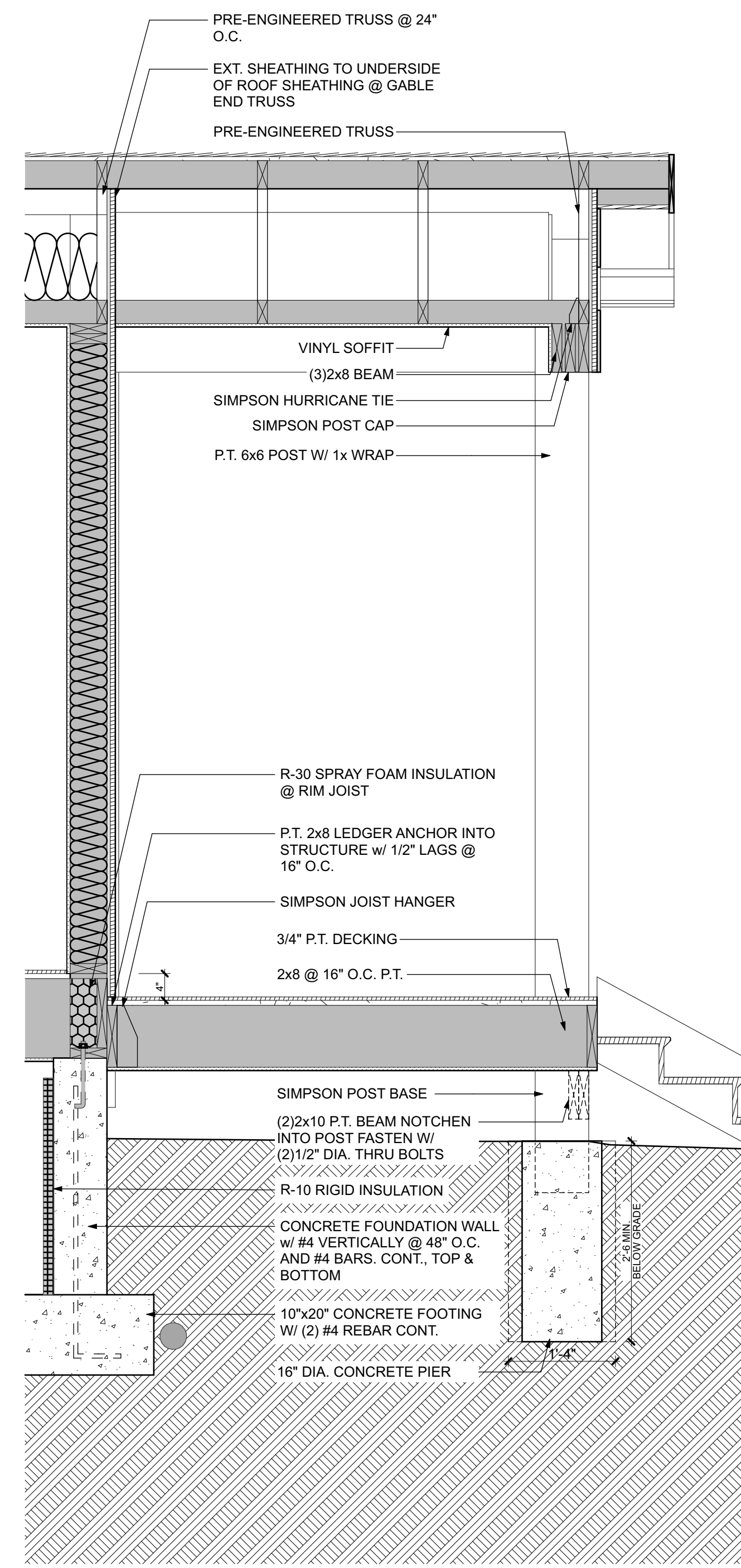
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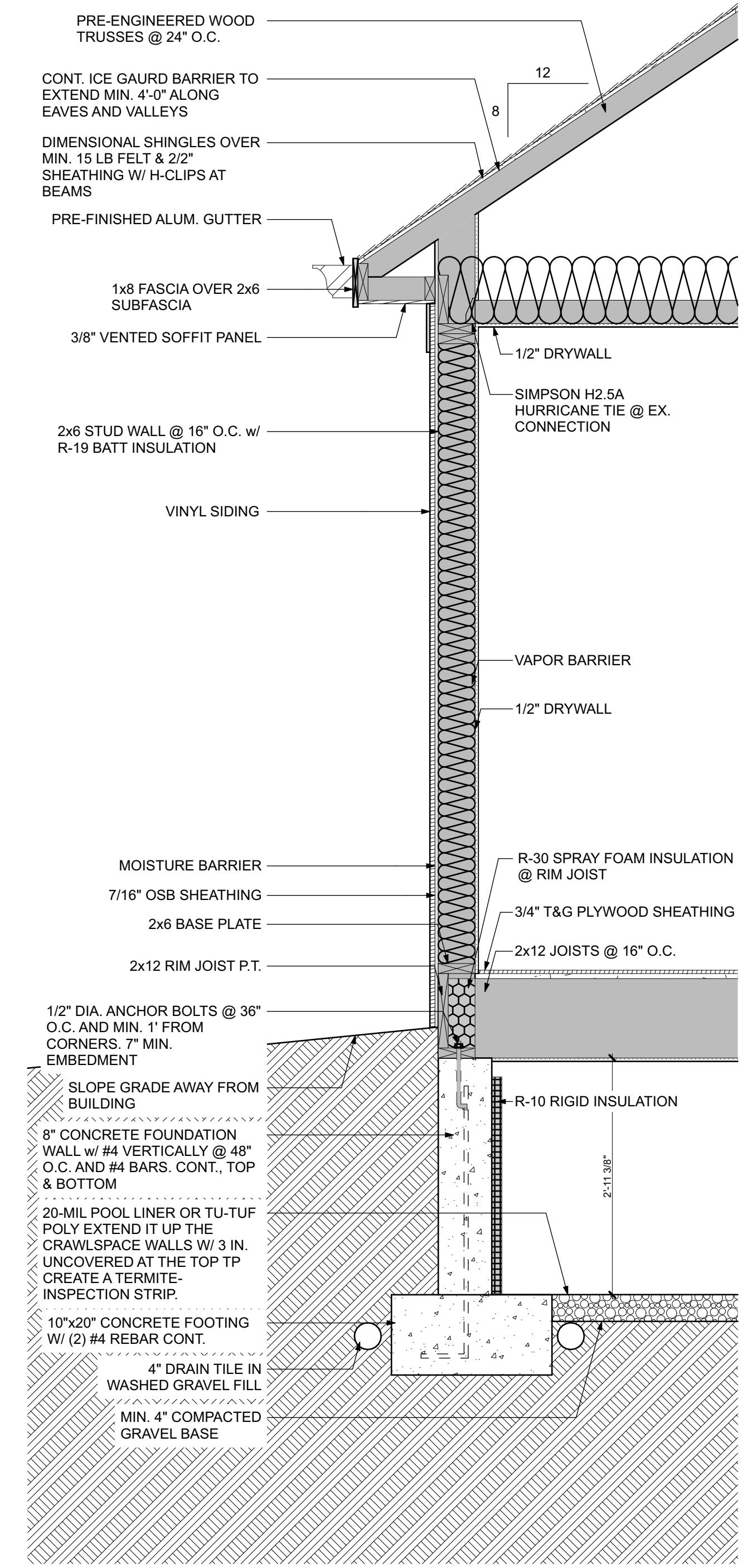
Detail Sections

5.1



408.3 UNVENTED CRAWL SPACE
FORCED AIR REGISTER TO DELIVER SUPPLY AIR FROM FURNACE OR AIR HANDLER TO CRAWL SPACE @ MIN. 1 CFM/MIN PER 50 SF OF UNDER-FLOOR AREA INCLUDING RETURN AIR PATHWAY

2 Porch Section
SCALE: 3/4" = 1'-0"



1 Typical Wall Section
SCALE: 3/4" = 1'-0"

THE PORT

Making Real Estate Work

ECONOMIC EQUITY AND INCLUSION POLICY

The Port of Greater Cincinnati Development Authority ("The Port") is deeply committed to supporting economic equity for minority-owned, women-owned, and small businesses. This commitment was demonstrated through the adoption of policies during its first year of operation, and it remains steadfast today. We believe in the significant potential for a meaningful increase in the inclusion and utilization of these businesses in all Port-related and managed projects.

The Port's policy applies robust economic inclusion and equity in the Cincinnati region. The policy implements principles from the City and County that enabled legislation to establish The Port. Inherent in those principles is the realization that we must fully utilize inclusive resources and provide everyone with equal opportunity and economic equity. By doing so, we create an equitable region conducive to inclusive economic and real estate development.

Board of Directors Port of Greater Cincinnati Development Authority ("The Port")
revision adopted by the Board of Directors on June 25, 2024.

The Vision

The Port of Greater Cincinnati Development Authority ("The Port") strives to continually have equitable utilization of Minority Business Enterprises (MBEs), Women Business Enterprises (WBEs), and Small Business Enterprises (SBEs) in the services for which it contracts, and in its various contracts for development projects. The Port strives to increase equity participation and ownership by MBEs and WBEs within all development projects. Our public finance practice is rooted in commercial real estate and the redevelopment of complex sites to stimulate private investment, job retention, and job creation. We offer unique tools such as the ability to issue tax-exempt debt, EB-5 financing, and tax increment financing, among others, and marshal additional state and local resources, including grants. These tools can significantly reduce the financial burden on MBEs, WBEs, and SBEs, making it easier for them to participate in our projects. Bringing our public finance tools to a private sector investment can create a winning combination of lower interest rates, sales tax exemption savings, longer-term/fixed-rate options, and potential reinvestment of capital dollars back into the project and community. Our approach to each project leads with economic equity and inclusion tailored to meet a development opportunity's unique needs.

The Port is committed to helping build and sustain strong MBEs, WBEs, and SBEs within the Cincinnati region. It empowers entrepreneurs, generates jobs, grows the tax base, and provides opportunities for wealth creation in every segment of society through neighborhood development, housing development, real estate ownership, and contracting.

All contractors, subcontractors, suppliers, developers, and service providers should have an equal opportunity to compete on contracts for services issued by The Port regardless of race, color, sex, gender, sexual orientation, or national origin. It is also the aspiration that a fair share of contracts

THE PORT

Making Real Estate Work

are awarded to inclusive business enterprises to promote capacity building and scale through good faith and best efforts from those involved in economic and real estate development.

The Plan

The Port aspires to achieve a total target goal of 25% Minority Business Enterprise (MBEs), 7% Women Business Enterprise (WBEs), and 30% Small Business Enterprise (SBEs) for:

- Construction
- Construction and General Supplies
- Real Estate and Construction Professional Services
- Other Non-Real Estate or Construction Professional Services

The Port strives to be viewed by the business community and the community at large as an organization that maximizes participation by MBEs, WBEs, and SBEs by building equity participation, contracting for services, and developing programs that scale these diverse companies to participate in Port managed and related projects through the following actions:

1. Strive to be a proactive partner with local, state, and federal governments, businesses, and community organizations, providing equal opportunities to utilize the services of MBEs, WBEs, and SBEs and thereby creating a positive economic development environment.
2. Be diligent in its efforts to include MBEs, WBEs, and SBEs throughout its operations. This will play an important role in creating opportunities for increased participation and equity by those who have been historically excluded.
3. Support and encourage, where economically feasible, the participation of MBEs, WBEs, and SBEs through tenant/ownership in Port-managed and related projects through active recruitment, relationship facilitation, and aggressive information-sharing.
4. The Port is dedicated to utilizing programs such as the Minority Business Accelerator (MBA), the Ohio Minority Supplier Development Council (OMSDC), the Greater Cincinnati/Northern Kentucky African American Chamber of Commerce, the Urban League of Greater Cincinnati, the Hispanic Chamber of Commerce, and other business development organizations. These programs are instrumental in fostering partnership agreements between majority businesses and MBEs, WBEs, and SBEs, and we encourage all to participate in this inclusive process.

In addition, The Port will promote accountability for the efforts to encourage the aspirational goals, will participate in the contracting process in a way that will assist businesses in understanding the benefits of economic equity and inclusion, and help them in their efforts to promote those aspirational goals, and establish a program of continuing outreach to governmental, non-profit, and business communities to encourage the goals.

THE PORT

Making Real Estate Work

Management Accountability

The Port requests from developers a process for clear accountability through ongoing follow-up and accurate measurement and reporting of inclusion results. This process ensures that all stakeholders are aware of and agree to the project's commitment to economic equity and inclusion, fostering trust and cooperation.

The Port will manage its Economic Equity and Inclusion efforts through staff and consultants in both its direct spending and the real estate projects it finances.

The Port and its managed entities direct spending: the business lines will be accountable directly to the Vice President of Economic Equity for results. The Vice President of Economic Equity, as the key driver of our economic equity and inclusion efforts, will provide the President and the Board of Directors with periodic progress in meeting the established goals.

For public finance projects, the business line will use the following approach:

- Introduce the project owner to our economic equity and inclusion policies at an initial meeting.
- Introduce the project owner to the Vice President of Economic Equity or an inclusion consultant retained by the Port.
- As part of our commitment to transparency and fairness, we require an inclusion plan and an attestation letter to be submitted to the Port prior to the project's Board of Directors approval. This process ensures that all stakeholders are aware of and agree to the project's commitment to economic equity and inclusion.
- As part of our commitment to accountability and continuous improvement, we require periodic reporting of actual results against the Plan to the Vice President, Economic Equity, or the inclusion consultant. This process allows us to track our progress, identify areas for improvement, and ensure that we are meeting our goals.
- Periodically report to the Board of Directors the aggregate results of projects in process. The Board of Directors plays a crucial role in overseeing our economic equity and inclusion efforts, ensuring that we are meeting our goals and holding us accountable for our commitments.

The Vice President, Economic Equity, the President, and individual members of the Board of Directors will assist the public finance team in communicating the importance of this Plan. When the Vice President, Economic Equity, and the Public Finance team identifies a perceived lack of reasonable best efforts by owners, developers or contractors, appropriate actions will be taken, including but not limited to, revisiting the inclusion plan, providing additional resources, or, in extreme cases, terminating the contract.